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**CITY OF LAKE SHORE**  
**PLANNING COMMISSION/BOARD OF ADJUSTMENT**

**AGENDA**

September 08, 2025, 9:00 am

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*The meeting is being recorded. Anyone wishing to speak, please raise your hand until recognized by the chairperson, then state your name and residence.*

1. **Call to Order**
2. **Roll Call**
3. **Approval of Minutes** (*Motion to approve, amend, or table*)
  - a. August 11, 2025
4. **Additions or Deletions to Agenda**
5. **Public Hearings** (*Motion to open the hearing. Motion to approve, deny, or table each individual public hearing noted. Motion to close the hearing.*)
  - a. **Variance Application 09-25** to construct a new dwelling with attached garage, porch, 4-season porch, and patio not meeting bluff setback. PID 90-417-0150.
6. **New Business**
  - a. None
7. **Old Business**
  - a. None
8. **Reports**
  - a. City Engineer
  - b. Chairman
  - c. Council Liaison
  - d. Planning & Zoning
    - August Permit Report
    - Penalty Fee Report
    - Cannabis Ordinance
9. **Public Forum**
10. **Adjournment** (*Motion to adjourn*)

**BOARD OF ADJUSTMENT/PLANNING COMMISSION  
CITY OF LAKE SHORE  
LAKE SHORE CITY HALL  
MINUTES  
AUGUST 11, 2025  
9:00 AM**

**Commission Members in attendance:** Chair Jim Woll, PJ Smith, Sean Weldon, Alex Kuhn, and Dave Riegert; Council Liaison Darcy Peterson; City Engineer Alex Bitter; Sourcewell Nicole Hausmann; and Deputy Clerk Kathy Johansen. The audience included Alternate Kevin Egan, Bernie Roberts, Mark Maki, Paul Maki, Sean and Vinci Mills, Kelsey Smith, Travis Miller, Patrick Cline, and three other people. A quorum was present, and the Commission was competent to conduct business.

Chair Jim Woll called the meeting to order at 9:01 a.m.

Approval of the May 12, 2025, Regular Meeting Minutes – MOTION BY PJ SMITH AND SECONDED BY DAVE RIEGERT TO APPROVE THE MINUTES FOR THE MAY 12, 2025, BOARD OF ADJUSTMENT/PLANNING COMMISSION AS PRESENTED. MOTION PASSED.

Approval of the July 14, 2025, Regular Meeting Minutes – MOTION BY ALEX KUHN AND SECONDED BY SEAN WELDON TO APPROVE THE MINUTES FOR THE JULY 14, 2025, BOARD OF ADJUSTMENT/PLANNING COMMISSION AS PRESENTED. MOTION PASSED.

Additions or Deletions to Agenda - None

**PUBLIC HEARING –**

MOTION BY SEAN WELDON AND SECONDED BY DAVE RIEGERT TO OPEN THE PUBLIC HEARING AT 9:04 AM. MOTION PASSED.

Variance Application 08-25 (#5a) – To construct an addition to the existing non-conforming dwelling not meeting side yard setback, a new deck attached to the existing non-conforming dwelling not meeting side-yard or lake setbacks, rebuilding the existing boathouse, and impervious surface coverage over 25%. PID 90-399-0140.

Nicole Hausmann reported the following items will become part of the record: Notice of mailing, notice of publication, signed application and attachments, staff report, and the comments received. Nicole shared there were two comments received. One comment was received from the DNR and a letter from a neighbor was received.

Nicole Hausmann presented Variance Application 08-25 (#5a).

Nicole Hausmann stated the DNR had additional conditions that can be added to the packet. Nicole read aloud the DNR suggestions which included: 1) the boathouse shall be used for storage only and may not include elements designed for human habitation; 2) the planting of native trees, shrubs and grasses to reduce visibility of the boathouse; and 3) a repairing buffer must be implemented to reduce or insulate any additional runoff before it can enter into the lake.

Travis Miller, architect for Sean and Vinci Mills, explained plans to construct an addition, removing a patio and adding a deck, removing a patio by the dock, and rebuild the boathouse in the exact same spot on the property.

PJ Smith referenced the DNR's requests and inquired into the architect's opinion regarding their requests.

Travis Miller responded that the DNR's requests were mostly regarding the boathouse and explained the plans to make the boathouse a little wider on the front and narrower on the back will make it less obtrusive to the neighbors' view and restoring the shoreline in the front will help with erosion.

Kelsey Smith, neighbor two houses away from the Mills, shared his support in approval of the variance. Kelsey asked for consideration of the high property cost in relation to the size of the lot and the difficult nature trying to meet the limitations that are imposed.

Jim Woll mentioned he would be going over the four subset variance requests. He mentioned the first subset of the variance to build an addition on the west side of the property and requested commission comments.

Commission members responded they had no concerns.

Jim Woll referenced the ordinance identifies special circumstances to allow the separation to 5 feet and the commission agreed that there are impractical circumstances relating to the lot size that are not created by the landowner.

Jim Woll referenced the building of the deck.

PJ Smith stated he felt it was a positive trade-off.

Vern Gevik agreed and stated that it gets wider and little bit closer to the lake but getting rid of the impervious is a benefit.

Jim referenced the next item which is related to the deck but that the impervious reduction is still above the specified limit for impervious coverage.

PJ Smith stated it was above but less than what it was previously.

Jim Woll referenced the final subset of building the boathouse.

PJ Smith shared that he felt the location of where the boathouse is currently at makes the most sense and doesn't change things for the neighbors.

Vern Gevik felt it would be a large improvement.

Alex Kuhn agreed.

Jim Woll shared he was deviating from the Commission's agreement on building the boathouse for the following reasons: there is adequate footage on the property to construct so there is not an issue with the lot as it relates to the landowner's property; the DNR comment relative to deviation from our ordinance; and due to the history of reworking the Lake Shore ordinance so it was consistent with DNR's ordinance and the Commission came up with the agreement to be that of maximum building of 120 square feet (10' x 12') and a minimum of 10 foot off the property lot line. At the public hearing, the Commission received negative comments relative to the 10 foot separation from the water line. The adoption of this ordinance received a lot

of public attention at the public hearing, at the Council meeting and from the regulated public going forward. Jim feels that if the Commission approves this variance, it would be telling the public that it's ok to build closer to the lake than 10 foot and that it's setting a bad precedent. Jim shared that for these reasons, he is opposed to granting approval of the variance as it relates to the boathouse. Jim explained that the distinction is new vs existing and should the Commission issue variances that are inconsistent with the regulations in our ordinances that we've developed and supported along the way.

PJ Smith referenced the new vs existing aspect and feels this situation falls in the middle and agreed that Jim Woll brought up a legitimate concern. PJ inquired as to the argument of not putting the boathouse at the 10 foot setback.

Travis Miller responded they were just wanting to put it in the same spot and keep it the same distance from the neighbor's property line.

Discussion followed regarding possible considerations for moving the boathouse to meet the setbacks.

Alex Bitter mentioned that he would like to see the decks included in the impervious calculations; confirmation will be needed for the 3 foot separation between water table and bottom of the soil to adhere to state rules; and since the boathouse is a new construction and new foundation, it should follow the City ordinance and the DNR recommendations.

MOTION BY JIM WOLL AND SECONDED BY PJ SMITH TO APPROVE THE SECTIONS OF THE VARIANCE APPLICATION 08-25 (#5a) RELATED TO THE NEW ADDITION CONSTRUCTION, THE DECK CONSTRUCTION, THE REDUCTION OF THE IMPERVIOUS SURFACE COVERAGE, AND DENY THE VARIANCE AS IT RELATES TO CONSTRUCTING A NEW BOATHOUSE CLOSER TO THE ORDINARY HIGH-WATER LINE THAN THE REQUIRED 10 FOOT OF THE ORDINANCE.

Further discussion followed.

Sean Weldon requested clarification that the boathouse can be constructed but must be compliant within the 5 foot and 10 foot requirements.

PJ Smith mentioned the conditions brought up from Widseth regarding the impervious as that could change the calculations dramatically.

MOTION PASSED.

MOTION BY SEAN WELDON AND SECONDED BY DAVE RIEGERT TO CLOSE THE PUBLIC HEARING AT 9:34 AM. MOTION PASSED.

**NEW BUSINESS** – There was no new business.

**OLD BUSINESS** –

Open Forum Comments from 07/14/2025 – Report from on-site visit completed 07/22/2025 --PID #90-437-1910 – Travis Roberts.

Nicole Hausmann reminded the Commission that this is not a public hearing item, no application was received so no notice was published or distributed to neighboring properties.

Nicole Hausmann referenced the prior month's meeting on July 14, 2025. During the open forum portion of the meeting, a neighbor addressed concerns to the Commission about work completed without a permit. Based on this, the Planning Commission requested that Sourcewell and City staff conduct an on-site visit to Mr. Robert's property and report the findings to the Commission.

Nicole Hausmann stated the on-site visit to the property was conducted July 22, 2025, and Nicole reported the findings from the visit.

Jim Woll stated that it appears there are two issues. One issue as it relates to permits and variances and the second issue being a civil issue related to the complaint from Mr. Maki.

Nicole Hausmann confirmed Jim Woll's statement that one issue is a civil issue and Nicole explained that anything concerning property lines and storm water management is a civil issue.

Jim Woll commented that the Commission would be discussing the non-civil issue which is the construction of the patio and the absence of a permit and/or variance, if it was required.

Bernie Roberts shared that Travis Roberts (his son) explained to him that when Travis asked Carter Reece about the permit requirements, Travis was told by Carter that when he asked Teri Hastings, the City Planning and Zoning Administrator, he was told by Teri that he didn't need a permit.

Ron Faust, neighbor to Travis Roberts, shared that when Travis Roberts first moved in he told Ron that he would be bringing in heavy equipment and Ron encouraged Travis to go in to the City and talk with Teri Hastings.

Mark Maki explained that his issue with the work being done is not regarding the patio, but rather the work is causing the diversion of water onto his adjoining property.

Jim Woll responded to Mark Maki that his comments are relative to the issue of the civil matter, and the Commission will take those comments into consideration as the Commission moves into the civil matter. Jim Woll also reminded Mark Maki that one of his letters indicated he believed there was not a permit issued for this project.

Further discussion continued regarding material being removed and whether any material was used to fill in to build up the patio area.

Jim Woll stated that no one is disputing the issue that no permit was issued. Jim stated it's a question of whether a variance was required to do the work that was done on the top of the bluff in and around the patio.

PJ Smith stated he was curious if an application would have been submitted, would the water retention issue have been addressed.

Nicole Hausmann responded that potentially, as it would have required a certificate of survey for a variance request and that would have identified what the impervious is on the property and if they were over 20%, a storm water management plan would have needed to be submitted.

Jim Woll questioned if the installation of a sidewalk 4 foot or less in width on grade needed a permit.

Nicole Hausmann clarified that a sidewalk would be allowed without a permit.

Nicole Hausmann clarified that a patio always needs a permit as it is considered a structure and per the City's definition, a patio is considered a structure which requires an over-the-counter permit. The hindrance here is that's a bluff and bluffs are not allowed to have a patio so it would have needed a variance. Nicole explained the option to either remove the patio and put grass there or do an after-the-fact variance that the Commission would need to approve to keep the patio.

Jim Woll mentioned if we require the after the fact variance there would need to be a site survey with all materials necessary for a variance application.

Nicole Hausmann agreed and stated there would need to be a Certificate of Survey, septic compliance inspection, impervious surface calculation, Carters stated pervious material would need written documentation showing that's per your ordinance that it is actually pervious material so it would need to be reviewed by an engineer, and we would also need submitted to the city a maintenance plan.

Alex Bitter agreed with Nicole Hausmann with all requirements needed to approve.

Nicole Hausmann referenced the storm water management plan submitted and approved for the Maki property and noted a storm water management plan would be required for the Roberts property.

MOTION BY SEAN WELDON SECONDED BY ALEX KUHN TO REQUIRE MR. ROBERTS TO SUBMIT A COMPLETE AFTER THE FACT VARIANCE APPLICATION INCLUDING STORM WATER MANAGEMENT, INCLUDING A SURVEY, OR REMOVE THE SUBJECT PATIO BY THE NOVEMBER MEETING. MOTION PASSED.

Jim Woll approached the subject of assessing penalties and establishing a penalty system for activity not compliant with the provisions in the City ordinances.

Discussion followed between the Commission members regarding Jim's concern of establishing a penalty system.

Jim Woll suggested having Nicole Hausmann and her associates at Sourcewell to contact the Municipal League and communities to get some examples of what other communities are doing and bring them to us for consideration.

Nicole Hausmann agreed to this suggestion.

Jim Woll asked Nicole Hausmann for guidance on the civil aspect of this issue.

Nicole Hausmann responded that property lines are civil issues as are storm water runoff and are not City issues. Nicole Hausmann highly recommended that the Commission does not discuss in depth anything that involves property line disputes as they are a civil matter, and an attorney should get involved.

## **REPORTS**

City Engineer – Alex Bitter - Nothing to report.

Chair – Jim Woll – Nothing to report.

Council Liaison – Darcy Peterson -Nothing to report.

Sourcewell – Nicole Hausmann-Nicole recapped Permit Summary.

**PUBLIC FORUM** – There was no public forum.

MOTION BY ALEX KUHN AND SECONDED BY SEAN WELDON TO ADJOURN THE BOARD OF ADJUSTMENT/PLANNING COMMISSION MEETING OF AUGUST 11, 2025, AT 10:10 AM. MOTION PASSED.

Transcribed by Kathy Johansen  
Lake Shore Deputy Clerk

## STAFF REPORT

Agenda Item: 5a

Application: Variance 09-25

Property Owner/Applicant: Troy & Kathleen Lentner

Authorized Agent: Nikki Fonkert – Price Homes

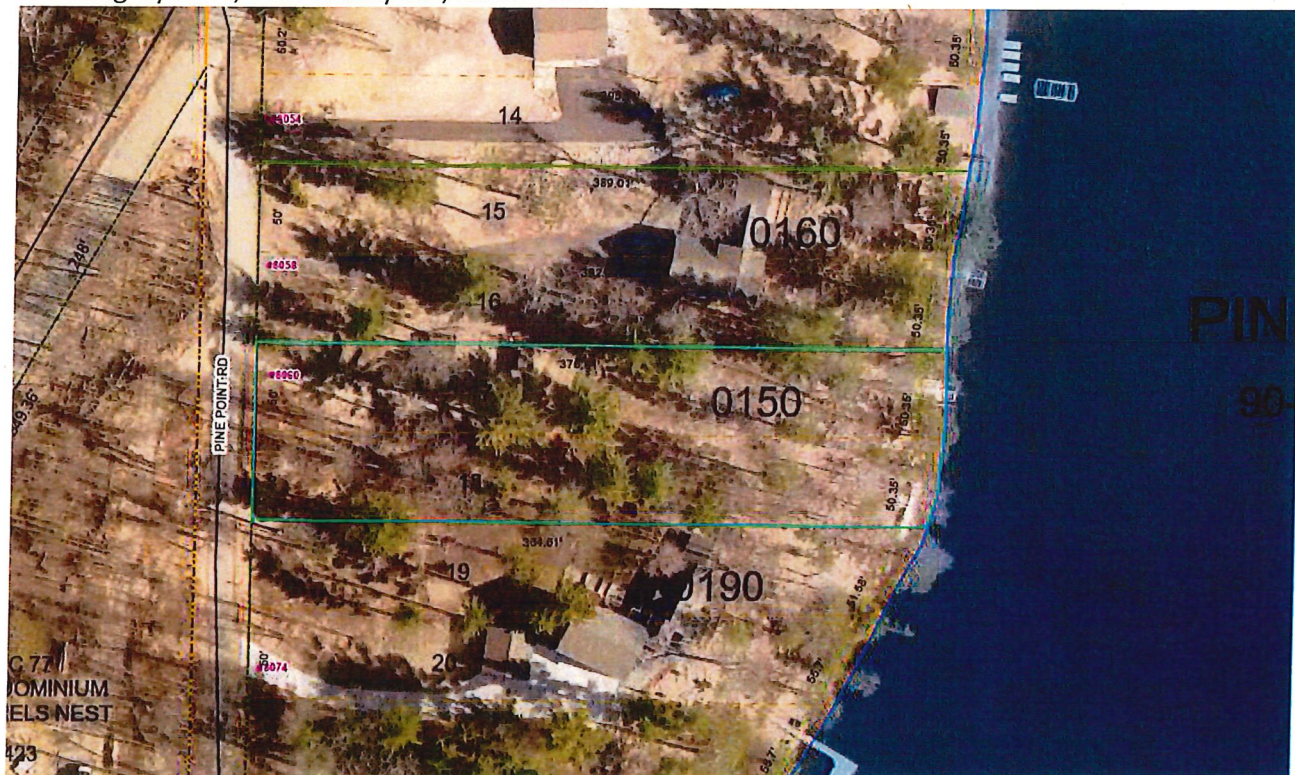
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### PROPERTY INFORMATION:

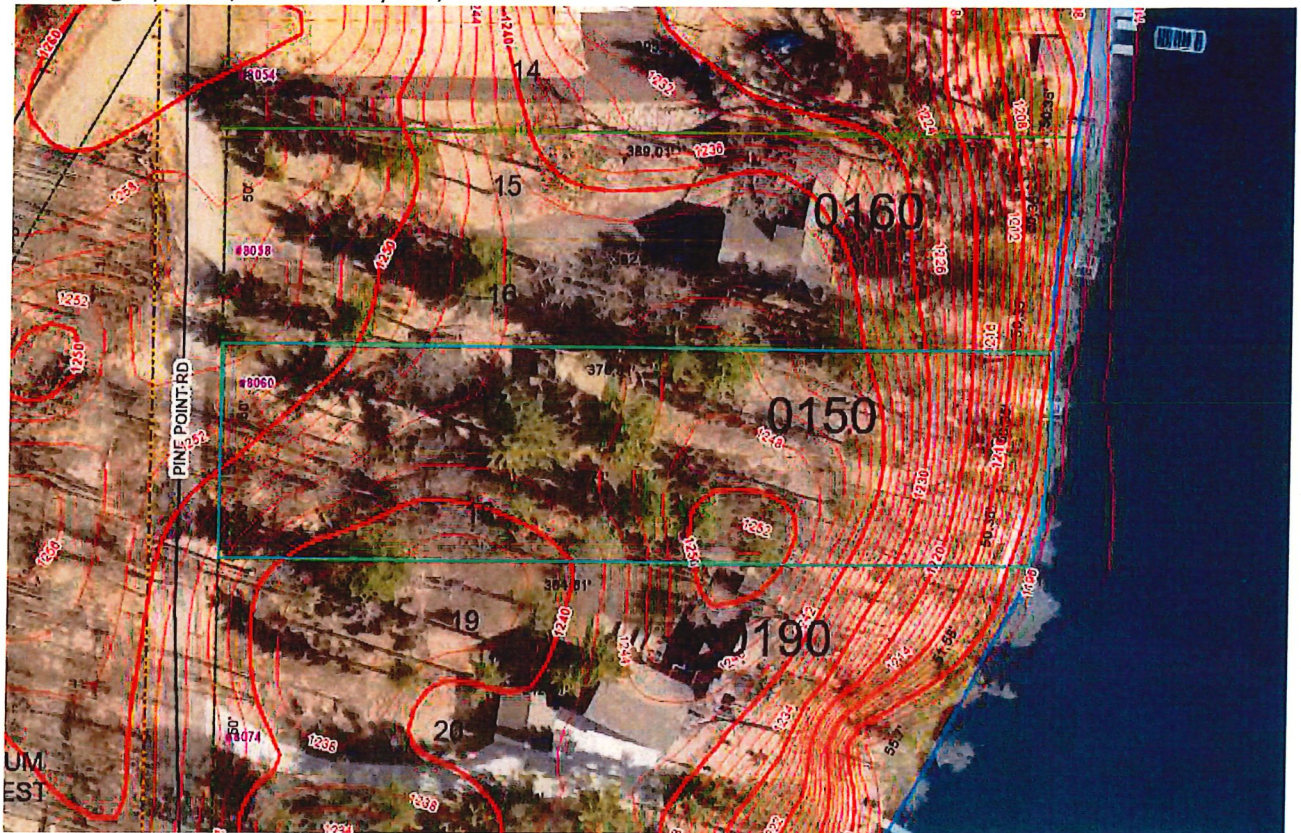
|                      |                                                      |
|----------------------|------------------------------------------------------|
| PID:                 | 90-417-0150                                          |
| Acres:               | .87 Acres (38,000 sq. ft.)                           |
| Zoning:              | Residential, Medium Density R-2 (Shoreland)          |
| Physical Address:    | 8060 Pine Point Rd                                   |
| Location:            | 16/135/29                                            |
| Septic:              | Septic Design for new system and Septic CI – passing |
| Existing Impervious: | 03.8                                                 |
| Proposed Impervious: | 23.3                                                 |

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GIS Imagery 2024, Cass County GIS, Aerial View:



GIS Imagery 2024, Cass County GIS, Contours:



GIS Imagery 2024, Cass County GIS, NWI Wetland Layer:



**Application:**

The applicant is requesting a variance from the bluff setback requirement of 50 feet.

**Variance:**

1. To construct a 4,424-square-foot dwelling/garage/porch, 4-season porch, patio
  - a. located 14.3 feet from the bluff setback (closest point on south side) per Certificate of Survey received 07/18/2025 and architectural drawings provided with the application.

The subject property, which is 30,000 sq. ft. and is zoned Residential, Medium Density R-2 (Shoreland) – Upper Gull Lake (Recreational Development).

**Background Information:**

The subject property features an existing legal non-conforming structure (628 sq. ft.), which will remain on the property as a guest cottage/game room that has a current septic system that is compliant. The guest cottage/game room meets the size requirements per 17.3.1.6 of the Ordinance. There is a shed that is marked “to be removed” on the certificate of survey.

**System status**

System status on date (mm/dd/yyyy) 07/22/2025

☒ **Compliant** – Certificate of compliance

*(Valid for 3 years from report date unless evidence of an imminent threat to public health or safety requiring removal and abatement under section 145A.04 subdivision 8 is discovered or a shorter time frame exists in Local Ordinance)*

**\*Note:** Compliance indicates condition is satisfactory.  
**R. 7080.1500** as of system status date and does not guarantee future performance.

☐ **Non-compliant** – Notice of noncompliance

*Systems failing to protect ground water must be upgraded, replaced, or use discontinued within the time required by local ordinance*

*An imminent threat to public health and safety (ITPHS) must be upgraded, replaced, or its use discontinued within ten months of receipt of this notice or within a shorter period if required by local ordinance or under section 145A.04 subdivision 8.*

**Reason(s) for non-compliance (check all applicable):**

- ☐ Impact on public health and safety component #1 – *Imminent threat to public health and safety*
- ☐ Tank Integrity (Component #2) – *Failing to protect groundwater*
- ☐ Other Component (Component #3) – *Imminent threat to public health and safety*
- ☐ Other Component (Component #3) – *Failing to protect groundwater*
- ☐ System not installed or replaced in R. 7080.1500 (Component #3) – *Failing to protect groundwater*
- ☐ Soil separation (Component #4) – *Failing to protect groundwater*
- ☐ Operating per local ordinance (Component #5) – *Noncompliant local ordinance applies*

The impervious surface coverage is currently 3.8%, and with the proposed new impervious surface coverage, it would increase to 23.3%. The property has submitted a new septic system design, which Andy Schwartz has reviewed. A grading plan with Stormwater Management has been developed and submitted with the application.

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Permit history:

- 07/09/1985 – Permit to construct 24x26 garage
- 

|                                |                         |
|--------------------------------|-------------------------|
| Complete Application Received: | 8/06/2025               |
| Action Deadline:               | 10/06/2025              |
| 15.99 Waiver:                  | N/A                     |
| Wetland Delineation:           | N/A                     |
| Fees Collected:                | \$400.00                |
| Authorized Agent:              | Nikki Fonkert           |
| Reviewed by:                   |                         |
| • City Engineer:               | Email sent 8/19/2025    |
| • City Attorney:               | N/A                     |
| Notifications:                 |                         |
| • DNR:                         | Email sent 8/22/2025    |
| • MNDOT:                       | N/A                     |
| • CASS HWY:                    | N/A                     |
| • Neighbors within 500 ft.:    | Letter mailed 8/25/2025 |
| • Published in newspaper:      | 8/27/2025               |

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**Applicable Regulations:** The following ordinance regulations apply to this request:

**Definition:**

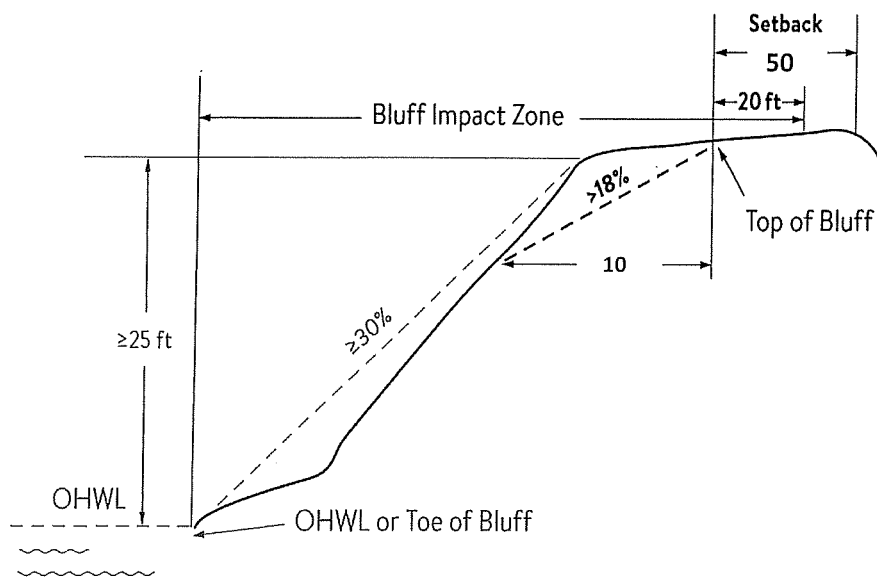
**4.223 Structure.** Any building, appurtenance including decks or other facility constructed, placed or erected by man except aerial or underground utility lines such as sewer, electric, telephone, telegraph, gas lines and except walks or steps on grade not more than four (4) feet wide outside of the Shore Impact Zone, stoops not exceeding thirty (30) square feet, temporary furniture, planter, or decorative material and retaining walls consisting of wood or decorative block.

**4.36 Bluff.**

A topographic feature such as a hill, cliff, or embankment having the following characteristics:

- A. Part or all of the feature is located in a shoreland area;
- B. The slope must drain toward the waterbody;
- C. The slope rises at least 25 feet above the ordinary high water level;
- D. The grade of the slope from the toe of the bluff to a point 25 feet or more above the ordinary high water level averages 30 percent or greater (see Figure 1).

Figure 1. Illustration of Bluff



**4.37 Bluff Impact Zone.** A bluff and land located within 20 feet of the top and toe of a bluff. See Figure 1.

**4.38 Bluff, Toe.** For the purpose of measuring setbacks, the lower point of a 10-foot segment with an average slope exceeding 18 percent or the ordinary high water level, whichever is higher. See Figure 1.

**4.39 Bluff, Top.** For the purpose of measuring setbacks, bluff impact zone, and administering vegetation management standards, the higher point of a 10-foot segment with an average slope exceeding 18 percent. See Figure 1.

**4.174 Practical Difficulties.** The property owner proposes to use the property in a reasonable manner not permitted by an official control; the plight of the landowner is due to circumstances unique to the property not created by the landowner; and the variance, if granted, will not alter the essential character of locality. Economic considerations alone do not constitute practical difficulties. Practical difficulties include but are not limited to, inadequate access to direct sunlight for solar energy systems.

## 69. Variances

**69.1** Variances shall not create a use not provided for in a zoning district.

**69.2** Variances shall be issued to the property and are not transferable.

**69.3** Variances shall be issued to the property for structures or other specified uses only after a public hearing and approval by the Board of Adjustment. All applications for a Variance shall be submitted to the Zoning Administrator thirty (30) days ahead of the hearing date, accompanied by a certificate of survey (unless waived by the Zoning Administrator) showing the details of the proposal and an accurate legal description, along with the appropriate fee. The fee or contract owner of the property shall sign the application. The Zoning Administrator shall notify all property owners within a minimum of five hundred feet (500) feet by regular mail

and shall advertise the hearing once in the legal section of the official newspaper at least ten(10) days ahead of the public hearing. The Zoning Administrator shall send the same notice ten (10) days in advance of this hearing to the Department of Natural Resources if the proposed is in shoreland. At the applicant's option, the applicant may request a sketch plan review with no action by the Planning Commission and with no fee by giving fourteen (14) days notice thereof to the Zoning Administrator, meeting time permitted.

**69.4** The applicant shall complete the Variance application approved by the City Council. The application shall contain submittal requirements, criteria for approval, procedure for consideration and City contact information. The City shall not accept applications where the applicant has past due fees or charges due to the City until the account is made current.

**69.5** Variances shall be decided within the required time frame with consideration for the following:

**69.5.1** The applicant establishes that there are practical difficulties, as defined in this Ordinance, in complying with the official controls, and

**69.5.2** The strict interpretation of the Ordinance would be impractical because of circumstances relating to lot size, shape, topographic or other characteristics of the property not created by the land owner, and

**69.5.3** The deviation from the Ordinance with any attached conditions will still be in keeping with the spirit and intent of this Ordinance and the comprehensive plan, and

**69.5.4** The Variance will not create a land use not permitted in the zone, and

**69.5.5** The Variance will not alter the essential character of the locality, and

**69.5.6** The Variance is not for economic reasons alone, but reasonable use of the property does not exist under the Ordinance.

**69.6** The Board of Adjustment may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.

**69.7** When costs to the City involved in processing and reviewing an application exceeds the original application fees, the applicant shall reimburse the City for any additional costs. Such expenses may include, but are not limited to, payroll, mailing costs, consultant fees and other professional services the City may need to retain in reviewing permits.

**69.8** Failure by the owner to act within one (1) year on a Variance unless extended by the Board of Adjustment shall void the Variance. A second extension shall require a new public hearing. This provision shall apply to any Variance outstanding at the time of the Ordinance adoption.

**69.9** Appeals from the action of the City Council shall be filed with the City within fifteen (15) days and with the District Court within thirty (30) days after Council action.

**69.10** The Variance shall be filed with the County Recorder within forty-five (45) days.

## **17. Residential, Medium Density R-2 (Shoreline).**

**17.1 Purpose.** To establish and maintain a district within the shoreland area that is recreational-residential in character with independent sanitary facilities that is compatible with the natural resources of lake and streams.

**17.2 Lot, Use and Density Requirements (R-2).**

|                                                                                                         | General Development<br>Riparian (1st Tier Only) | Recreation Development<br>2nd Tier Gen. Development | Natural Environment |
|---------------------------------------------------------------------------------------------------------|-------------------------------------------------|-----------------------------------------------------|---------------------|
| Lot width at ordinary high water line and building line – feet                                          | 100                                             | 150                                                 | 200                 |
| Lot area, square feet                                                                                   | 30,000                                          | 40,000                                              | 80,000              |
| Buildable Area, square feet                                                                             | 15,000                                          | 20,000                                              | 40,000              |
| Setback, City Road – feet                                                                               | 30                                              | 30                                                  | 30                  |
| Setback, County Road – feet                                                                             | 50                                              | 50                                                  | 50                  |
| Setback, waterfront – feet                                                                              | 75                                              | 100                                                 | 150                 |
| Setback, top of bluff                                                                                   | 50                                              | 50                                                  | 50                  |
| Setback, side – feet                                                                                    | 15                                              | 15                                                  | 15                  |
| Setback Side accessory structure – feet                                                                 | 15                                              | 15                                                  | 15                  |
| Setback, corner side – feet                                                                             | 15                                              | 15                                                  | 15                  |
| Setback, side for storage sheds (<200 sq ft) - feet                                                     | 5                                               | 5                                                   | 5                   |
| Setback, rear-feet                                                                                      | 20                                              | 20                                                  | 20                  |
| Setback, sign, road – feet                                                                              | 1                                               | 1                                                   | 1                   |
| Setback, unplatted cemetery – feet/minimum                                                              | 50                                              | 50                                                  | 50                  |
| Setback, wetland - feet                                                                                 | 30                                              | 30                                                  | 30                  |
| Patio setback, waterfront – feet/minimum                                                                | 50                                              | 50                                                  | 50                  |
| Patio area-square feet                                                                                  | <250                                            | <250                                                | <250                |
| Maximum impervious coverage                                                                             | 20%                                             | 20%                                                 | 15%                 |
| Parking/driveway setback from property line – feet/minimum                                              | 10                                              | 10                                                  | 10                  |
| Maximum building height – feet                                                                          | 25                                              | 25                                                  | 25                  |
| Maximum building height, accessory structure                                                            | 20                                              | 20                                                  | 20                  |
| Building above highest known groundwater, lake level or flood of record – feet                          | 3                                               | 3                                                   | 3                   |
| Maximum density – square feet (duplex or guest cabin with principal structure are considered two units) | 1 Unit/20,000                                   | 1 Unit/40,000                                       | 1 Unit/80,000       |

|                                                             |       |       |       |
|-------------------------------------------------------------|-------|-------|-------|
| Minimum dwelling width – feet                               | 24    | 24    | 24    |
| Accessory Structure Size – square feet, maximum, cumulative | 1,200 | 1,200 | 1,200 |

|                                                                      |     |     |     |
|----------------------------------------------------------------------|-----|-----|-----|
| Lot width and shoreline with guest cabin or duplex feet/minimum      | 180 | 225 | 300 |
| Lot width with guest cabin or duplex – off shore line                | 200 | 225 | 400 |
| Septic tank and/or pump chamber from ordinary high water mark – feet | 50  | 75  | 150 |
| Soil absorption system from ordinary high water mark – feet          | 75  | 75  | 150 |

### 17.1 Performance Standards (R-2).

**17.2.1 Impervious Coverage Placement.** There shall be no impervious coverage within fifty (50) feet of the Ordinary High Water Level, excepts walks and steps on grade less than four (4) feet wide and landing areas not exceeding thirty-two (32) square feet as provided for in this Ordinance.

**17.2.1.1** The lake setback area shall contain natural vegetation, preferably native, except for permitted structures or facilities such as walks steps patios and sheds.

**17.2.2 Impervious Coverage Increase.** Impervious coverage may be increased by five percent (5%) if the following is provided:

**17.2.2.1** A storm water retention plan showing containment of the five (5-year), 24-hour storm event on the parcel.

**17.2.2.2** Direct runoff of storm water to adjacent water bodies, including wetlands and adjacent parcels, shall be eliminated through the use of berms or other permanent means.

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**Staff Findings:** Staff provides the following findings of fact for discussion and consideration:

1. The subject property is located at 8060 Pine Point Rd and is zoned Residential, Medium Density R-2 (Shoreland); (Upper Gull Lake - Recreational Development).
2. The subject property is .87 Acres (38,000 sq. ft.)
3. The subject property contains a legal existing non-conforming dwelling which meets the lake, bluff, and road right-of-way setbacks.
4. The subject property has a shed and existing retaining walls denoted on the Certificate of Survey received 07/18/2025 as "to be removed."
5. The proposed 4,424 square foot dwelling/garage/porch/4-season porch/patio is within the 50-foot bluff setback.
6. The proposed 4,424 square foot dwelling/garage/porch/4-season porch/patio is 14.3 feet from the bluff at the closest point on the south side of the property.
7. The proposed 4,424 square foot dwelling/garage/porch/4-season porch/patio would meet the lake setback, road right-of-way setback, and side yard setback per Certificate of Survey received 07/18/2025.
8. The existing septic system has been inspected and deemed compliant.
9. The applicant has provided a new septic system design to be installed with the new proposal. This

design has been reviewed and approved by Andy Schwartz.

10. The total impervious surface for the lot, including the proposed dwelling/garage/porch/4-season porch/patio, driveway/walkways and existing structures provided on the Certificate of Survey received 07/18/2025, is 23.3% where 25% is the maximum impervious surface total for the parcel in the Residential, Medium Density R-2 (Shoreland) zone for a riparian RD lake (stormwater management plan required per section 17.3.3).
11. A grading/stormwater management plan has been submitted to the city with the variance application and reviewed by the City Engineer.
12. The DNR has been notified of the request, and no comment has been received as of the time this staff report was drafted.
13. The City Engineer has been notified of the request, and comments have been received.
14. Notice of this variance application was published in the local newspaper & distributed to property owners within the required distance to the property (500 ft.). No comments have been received as of the drafting of this staff report.

**Potential Findings for approval, for discussion with the Board of Adjustment:**

15. Will granting the variance put property to use in a reasonable manner not permitted by the zoning ordinance?
  - a. Yes, the applicant is proposing to continue the use of the property as a residential dwelling with attached garage, porch, 4-season porch, and patio. The property provides limited options because of the existing structure and the location of the septic system.
16. Does the property have unique circumstances that were not created by the landowner?
  - a. Yes, the property is a non-conforming legal lot of record. There is an existing structure on the property that limits the space for the proposed dwelling/garage/porch/4-season porch/patio, and new septic system. The proposal will meet the lake, road right-of-way, and side yard setbacks according to the Certificate of Survey received 07/18/2025.
17. If the variance is granted, will the essential character of the locality remain consistent?
  - a. Yes, constructing the new dwelling/garage/porch/4-season porch/patio will not alter the essential character of the neighborhood. The improvements will be visible from the lake and the road right-of-way; however, the proposed improvements are consistent with other dwellings in the vicinity of the subject property.
18. Will the variance, if granted, be consistent with the comprehensive plan and be in harmony with the purpose and intent of the City of Lake Shore ordinances?
  - a. Yes, the request, with conditions, is consistent with the purpose and intent of the zoning ordinance and the following goal in the comprehensive plan, "Support growth patterns that reinforce our lake-oriented and rural development brand." (pg. 5)
19. Has the variance request been made based on reasons other than economic considerations alone?
  - a. Yes, the request has been made on factors other than economic considerations.

**Potential Findings for denial, for discussion with the Board of Adjustment:**

20. Will granting the variance put property to use in a reasonable manner not permitted by the zoning ordinance?
  - a. No, the plight of the landowner is due to circumstances created by the landowner proposing a new structure that does not meet the bluff setback. The intent of the Ordinance is to enforce setbacks to limit environmental concerns and impacts to Upper Gull Lake.
21. Does the property have unique circumstances that were not created by the landowner?
  - a. No, the plight of the landowner is due to circumstances unique to the property owner, created by the landowner wanting a new dwelling closer to the bluff than allowed by the Ordinance.
22. If the variance is granted, will the essential character of the locality remain consistent?
  - a. Yes, constructing the new dwelling/garage/porch/4-season porch/patio will not alter the essential character of the neighborhood.
23. Will the variance, if granted, be consistent with the comprehensive plan and be in harmony with the purpose and intent of the City of Lake Shore ordinances?
  - a. No, the variance is not consistent with the comprehensive plan, as decreasing the bluff setback will not provide adequate environmental considerations.
24. Has the variance request been made based on reasons other than economic considerations alone?
  - a. No, the variance is for economic reasons alone, and reasonable use of the property does exist under the ordinance.

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**Board of Adjustment Direction:** The Board of Adjustment may approve, deny, or table the request if additional information is required. If the motion is for approval or denial, findings of fact should be cited to support the motion.

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**Staff Recommendation:** The property owner appears to have a reasonable use of the property with the proposed new dwelling/garage/porch/4-season porch/patio. Staff recommends that the Board of Adjustment discuss and provide input regarding the proposed findings for approval and/or denial.

If the Board of Adjustment wishes to approve the variance request, staff recommends the following conditions of approval:

1. All construction shall be in substantial conformance with the presented plan as shown. Deviations from the presented plan will require modified approval by the Planning Commission.
2. An as-built certificate shall be provided to the City following the construction of the proposed dwelling/garage/porch/4-season porch/patio to demonstrate all variance requirements are being met and that the impervious surface coverage is under 25%.
3. The variance expires 12 months after approval by the Planning Commission, if the project is not commenced, unless extended per section 70.7 of the Ordinance.
4. The proposed items marked on the Certificate of Survey as "to be removed" shall be removed within 12 months of the approval of any land use permit related to the proposal in this application and shall be revegetated to adequate standards.

5. Implement an erosion and sediment control plan utilizing best management practices (BMPs) before construction and dirt-moving activities. The city must approve the plan. The BMPs must remain in place until all disturbed soils are stabilized.
6. The proposed stormwater management plan shall be updated per the City Engineers' comments received 08/26/2025, before any zoning permit is approved.
7. The proposed downspout gutters, grading, and stormwater retention areas, as shown on the stormwater management plan, shall be implemented upon completion of the project if/when a zoning permit is applied for and approved by the City.
8. The guest cottage/game room shall remain accessory to the principal use and shall not be sold or rented as a separate dwelling without further city approval.

APP # \_\_\_\_\_

Date \_\_\_\_\_

(for office use only)

**CITY OF LAKE SHORE  
VARIANCE APPLICATION**

Name of Applicant Nikki Fonkert/ Price Homes Phone 763-276-7197

Address 550 Freeport Ave NW Email nikki@pricehomes.com

City, State, Zip Elk River, MN 55330

Applicant is:

Title Holder of Property:

Legal Owner ☐

Contract Buyer ☐

Option Holder ☐

Agent ☐

Other Contractor

Troy and Kathy Lentner

(Name)

8060 Pine Point Road

(Address)

Lake Shore

(City, State, Zip)

Signature of Owner, authorizing application Troy Lentner  
(By signing the owner is certifying that they have read and understood the instructions accompanying this application.)

Signature of Applicant (if different than owner): Nikki & Fonkert  
(By signing the applicant is certifying that they have read and understood the instructions accompanying this application.)

Location of property involved in this request:

8060 Pine Point Road

Parcel ID No. 90-417-0150

Zoning District \_\_\_\_\_

Description of Proposed Project:

New residential single family home with attached garage and septic.

Specify the section of the ordinance from which a variance is sought:

Section 17.2, bluff setback

Explain how you wish to vary from the applicable provisions of the ordinance: \_\_\_\_\_

**we are trying not to impede the existing water flow from neighbor to the north and south ,  
and to providing a rain garden for our lot to limit runoff into the lake and adjacent properties**

REV: SEPT 2011

A variance is a modification or variation of the provisions of the zoning code as applied to a specific piece of property. Variances shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the variances are consistent with the comprehensive plan. Variances may be granted when the applicant for the variance establishes that there are **practical difficulties** in complying with the zoning ordinance. Practical difficulties as used in connection with granting of a variance, means that the property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance; the plight of the landowner is due to circumstances unique to the property not created by the landowner; and the variance, if granted, will not alter the essential character of the locality. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.

- (1) In your opinion, is the variance in harmony with the purposes and intent of the ordinance?  
Yes (X) NO ( ) Why or why not?

**Its in line with the nieghboring homes on each side of this lot**

- (2) In your opinion, is the variance consistent with the Comprehensive Plan?  
Yes (X) No ( ) Why or why not?

**Yes its consitant with comp plan, we need space to install a rain garden to protect the lake from storm water , and we are matching charactor of community**

- (3) In your opinion, does the proposal put the property to use in a reasonable manner?  
Yes (X) No ( ) Why or why not?

**We are keeping natural flow of water from neighbors and keeping In line with the neighbors house but yet still being farther from the bluff than neighboring properties**

- (4) What other options, either conforming or non-conforming, have been considered and why were those options not chosen?

**Placing the home farther west stops the natural flow of water from neighboring properties and does not allow for storm water managment of this lot**

- (5) Describe the impact on the use and enjoyment of other property in the immediate vicinity. If there is no impact, explain why.

**the proposed variance will have no negative impact on the enjoymnet of the nieghboring properties**

- (6) In your opinion, are there circumstances unique to the property?  
Yes ( ) No ( ) Why or why not?

\_\_\_\_ **Yes , there is a natural water way for neighboring propeties that limits the placement of** \_\_\_\_\_  
\_\_\_\_ **new home** \_\_\_\_\_

- (7) In your opinion, will the variance maintain the essential character of the locality?  
Yes ( ) No ( ) Why or why not?

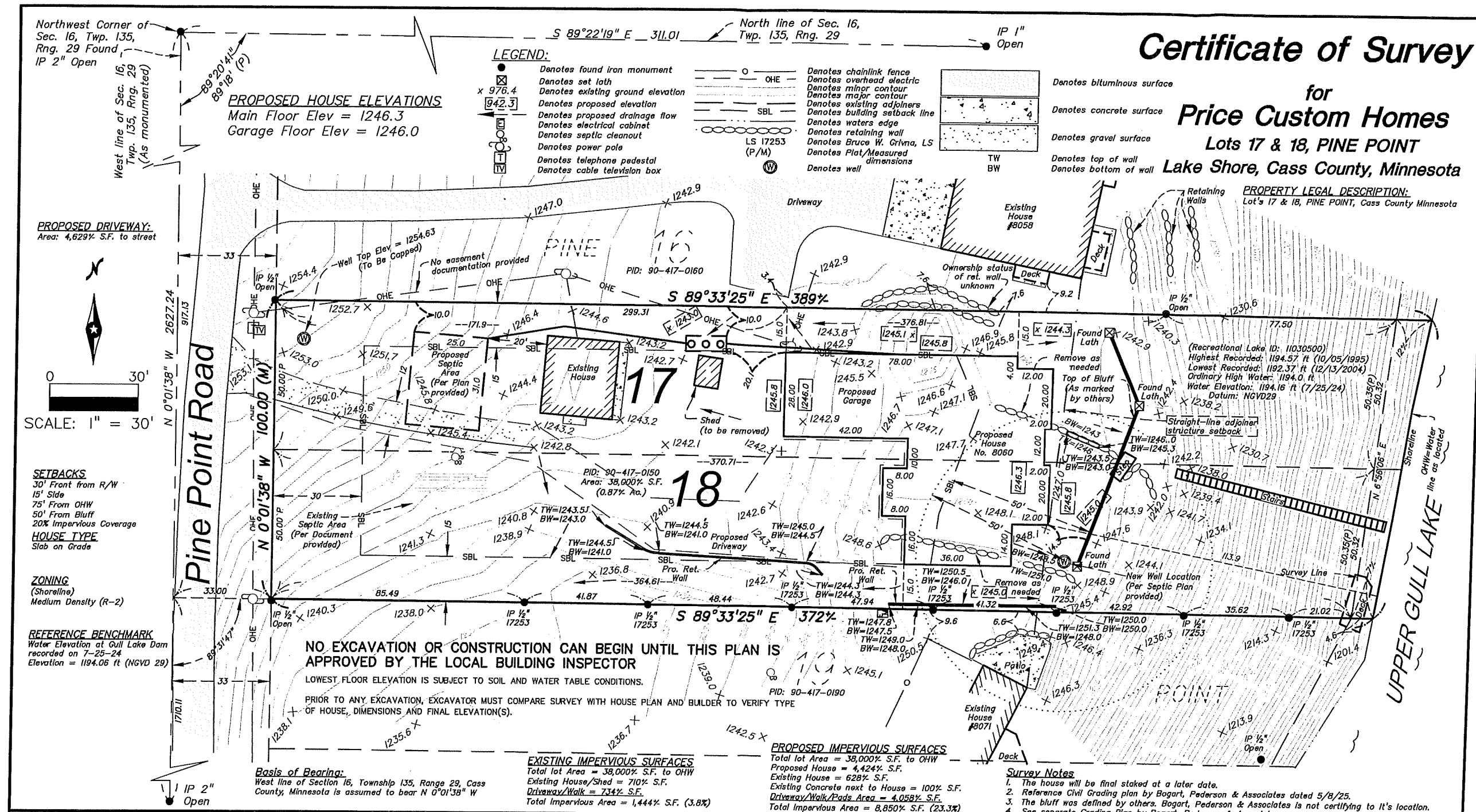
\_\_\_\_ **the variance will reinforce the character of the neighborhood** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- (8) Discuss any environmental limitations of the site or area.  
**There are no environmental limitations**

- (9) Please include any other comments pertinent to this request.

**This house placement allows for the existing drainage from the neighbors property to** \_\_\_\_\_  
**continue and provides a good storm water plan for the new home** \_\_\_\_\_  
**The placement of the home stays in line with the neighboring homes and stays farther** \_\_\_\_\_  
**from the bluff than the existing homes on each side of the property** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The Planning Commission must make an affirmative finding on all of the five criteria listed above in order to grant a variance. The applicant for a variance has the burden of proof to show that all of the criteria above have been satisfied.



**Certificate of Survey**  
for  
**Price Custom Homes**  
Lots 17 & 18, PINE POINT  
Lake Shore, Cass County, Minnesota

Northwest Corner of Sec. 16, Twp. 135, Rng. 29 Found IP 2" Open

West line of Sec. 16, Twp. 135, Rng. 29 (As monumented)

**PROPOSED HOUSE ELEVATIONS**  
Main Floor Elev = 1246.3  
Garage Floor Elev = 1246.0

**PROPOSED DRIVEWAY:**  
Area: 4,629% S.F. to street

**SETBACKS**  
30' Front from R/W  
15' Side  
75' From OHW  
50' From Bluff  
20% Impervious Coverage

**HOUSE TYPE**  
Slab on Grade

**ZONING**  
(Shoreline)  
Medium Density (R-2)

**REFERENCE BENCHMARK**  
Water Elevation at Gull Lake Dam recorded on 7-25-24  
Elevation = 1194.06 ft (NGVD 29)

**LEGEND:**  
Denotes found iron monument  
Denotes set lath  
Denotes existing ground elevation  
Denotes proposed elevation  
Denotes proposed drainage flow  
Denotes electrical cabinet  
Denotes septic cleanout  
Denotes power pole  
Denotes telephone pedestal  
Denotes cable television box

Denotes chainlink fence  
Denotes overhead electric  
Denotes minor contour  
Denotes major contour  
Denotes existing adjoiners  
Denotes building setback line  
Denotes waters edge  
Denotes retaining wall  
Denotes Bruce W. Grlna, LS  
Denotes Plat/Measured dimensions  
Denotes well

Denotes bituminous surface  
Denotes concrete surface  
Denotes gravel surface  
Denotes top of wall  
Denotes bottom of wall

**PROPERTY LEGAL DESCRIPTION:**  
Lot's 17 & 18, PINE POINT, Cass County Minnesota

**NO EXCAVATION OR CONSTRUCTION CAN BEGIN UNTIL THIS PLAN IS APPROVED BY THE LOCAL BUILDING INSPECTOR**  
LOWEST FLOOR ELEVATION IS SUBJECT TO SOIL AND WATER TABLE CONDITIONS.  
PRIOR TO ANY EXCAVATION, EXCAVATOR MUST COMPARE SURVEY WITH HOUSE PLAN AND BUILDER TO VERIFY TYPE OF HOUSE, DIMENSIONS AND FINAL ELEVATION(S).

**EXISTING IMPERVIOUS SURFACES**  
Total lot Area = 38,000% S.F. to OHW  
Proposed House = 4,424% S.F.  
Existing House/Shed = 710% S.F.  
Driveway/Walk = 734% S.F.  
Total Impervious Area = 1,444% S.F. (3.8%)

**PROPOSED IMPERVIOUS SURFACES**  
Total lot Area = 38,000% S.F. to OHW  
Proposed House = 4,424% S.F.  
Existing House = 628% S.F.  
Existing Concrete next to House = 100% S.F.  
Driveway/Walk/Pads Area = 4,058% S.F.  
Total Impervious Area = 8,850% S.F. (23.3%)

**Survey Notes**  
1. The house will be final staked at a later date.  
2. Reference Civil Grading plan by Bogart, Pederson & Associates dated 5/8/25.  
3. The bluff was defined by others. Bogart, Pederson & Associates is not certifying to it's location.  
4. See separate Grading Plan by Bogart, Pederson & Associates.

SHEET NO. 1

**Certificate of Survey**  
Price Custom Homes  
Lot's 17 & 18, PINE POINT  
Cass County, Minnesota

**BOGART, PEDERSON & ASSOCIATES, INC.**  
LAND SURVEYING  
CIVIL ENGINEERING  
MAPPING  
13076 FIRST STREET, BECKER, MN 55308-9322  
TEL: 763-262-8822 FAX: 763-262-8844

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

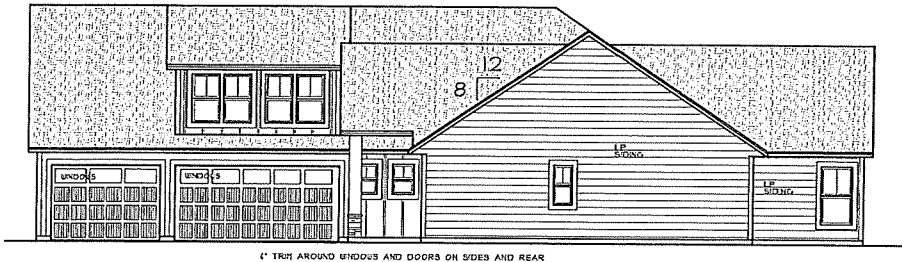
**DRAFT**

Signed: Craig A. Wensmann  
Date: 8/14/24 Lic. No. 47466

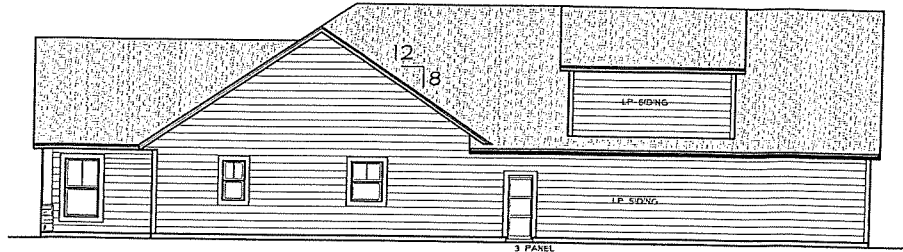
| DATE:       | 7/25/24    |
|-------------|------------|
| DESIGN BY:  |            |
| DRAWN BY:   | ZH         |
| CHECKED BY: | CAW        |
| DWG FILE:   | L17-18HS   |
| FILE NO.:   | 24-0326.00 |

| REV NO. | DATE    | DESCRIPTION                                  |
|---------|---------|----------------------------------------------|
| 1       | 6/2/25  | Updated house plans/moved house east         |
| 2       | 7/18/25 | Updated per grading plans                    |
|         |         | Updated survey per city comments             |
|         |         | Added existing septic & proposed well/septic |

| SQUARE FOOTAGE CALCULATIONS                                       |          |            |
|-------------------------------------------------------------------|----------|------------|
| AREA                                                              | FINISHED | UNFINISHED |
| MAIN FLOOR                                                        | 2160     | N/A        |
| UPPER FLOOR                                                       | 896      | N/A        |
| TOTAL                                                             | 3056     | N/A        |
| 171 SQ FT GARAGE<br>141 SQ FT FRONT PORCH<br>940 SQ FT REAR PORCH |          |            |

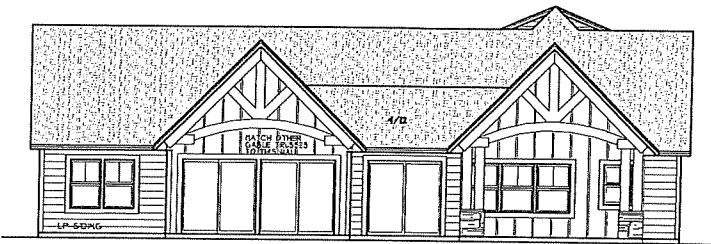


RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

PROVIDE PROPER DRAINAGE  
AWAY FROM BUILDING.



REAR ELEVATION  
SCALE: 1/8" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

1" TRIM AROUND WINDOWS  
AND DOORS ON FRONT  
1" TRIM AROUND WINDOWS  
AND DOORS REAR AND SIDES

MUST POST ADDRESS ON CONSTRUCTION  
SITE VISIBLE FROM ROAD.

EVERY PERSON PERFORMING WORK FOR WHICH  
THE CODE IS APPLICABLE SHALL COMPLY  
WITH THE CODE.

NO OCCUPANCY OR USE ALLOWED UNTIL FINAL  
INSPECTION AND APPROVAL.

STORM WATER RUN-OFF SHALL BE CHanneled  
INTO SWALE, PONDING AREA OR OTHER  
SUITABLE FACILITY. NO RUN-OFF SHALL BE  
DIRECTED ONTO ADJACENT PROPERTIES.

PROPERTY LINES MUST BE STAKED IN ORDER  
TO VERIFY SETBACKS TO LOT LINES-IF NOT  
STAKED SURVEY MUST BE PROVIDED.

CLEAN STREET DAILY OF ANY MATERIAL  
TRACKED ONTO IT FROM THIS SITE.

BUYER NOTICE:

DUE TO THE VARIOUS SITE CONDITIONS  
OF INDIVIDUAL LOTS, THE GRADE LINES  
REFLECTED BY THIS PRINT ARE  
FOR ILLUSTRATIVE PURPOSES ONLY.  
AND DO NOT REFLECT ACTUAL  
FINISH GRADE OR ELEVATIONS.

HOUSE NUMBERS:

THE APPROVED ADDRESS SHALL BE  
DISPLAYED, PLAINLY VISIBLE & LEGIBLE  
FROM THE STREET FRONTING THE  
PROPERTY. 4" HIGH NUMBERS WILL BE  
USED, SUBJECT TO CITY REQUIREMENTS.

ATTIC VENTILATION

PROVIDE ATTIC VENTILATION, NET FREE  
AREA TO BE EQUAL TO 1/30TH OF  
ATTIC AREA OR 1/30TH OF ATTIC  
AREA PROVIDED AT LEAST ONE IN  
UPPER PORTION OF ROOF WITH BALANCE  
IN SOFFIT

ICE DAM PROTECTION

1 LAYER OF 40# COATED ROOFING OR  
COATED GLASS G BASE SHEET SHALL  
BE APPLIED FROM THE EAVES TO A  
LINE 24" INSIDE THE EXTERIOR WALL  
LINE WITH ALL LAPS CEMENTED TOGETHER

FLASHING NOTE:

ALL OPENINGS TO EXTERIOR MUST  
BE CAULKED & FLASHED  
FLASHING IS REQUIRED WHERE ALL  
ROOF AND VERTICAL SURFACES MEET,  
OR WHERE SIDING MATERIAL CHANGES.

| REVISION DATES |         |
|----------------|---------|
| 1-1-25         | 1-23-25 |
| 1-1-25         | 1-23-25 |
| 1-1-25         | 1-23-25 |
| 1-1-25         | 1-23-25 |
| 1-1-25         | 1-23-25 |
| 1-1-25         | 1-23-25 |
| 1-1-25         | 1-23-25 |
| 1-1-25         | 1-23-25 |
| 1-1-25         | 1-23-25 |
| 1-1-25         | 1-23-25 |

ALL MEASUREMENTS AND  
LOCATIONS OF FOUNDATION  
AND ROOFING SHALL BE  
VERIFIED BY THE OWNER  
OR ARCHITECT. THE  
ARCHITECT SHALL BE  
RESPONSIBLE FOR THE  
ACCURACY OF THE  
DRAWINGS. THE  
OWNER SHALL BE  
RESPONSIBLE FOR THE  
ACCURACY OF THE  
FIELD MEASUREMENTS  
AND LOCATIONS.

COPYRIGHT NOTICE

THESE PLANS AND ELEVATIONS  
ARE THE PROPERTY OF THE  
ARCHITECT. NO PART OF  
THESE PLANS OR ELEVATIONS  
SHALL BE REPRODUCED OR  
TRANSMITTED IN ANY FORM  
OR BY ANY MEANS, ELECTRONIC  
OR MECHANICAL, INCLUDING  
PHOTOCOPYING, RECORDING,  
OR BY ANY INFORMATION  
SYSTEM WITHOUT THE  
WRITTEN PERMISSION OF  
THE ARCHITECT.

RESIDENCE FOR:

TROY & KATHY LENTNER  
ADDRESS  
CITY  
LOT 1 BLOCK  
DEVELOPMENT

PROJECT TITLE

CUSTOM  
RAMBLER

PRICE: CUSTOM HOMES  
550 FREEMONT AVENUE  
ELK RIVER, MN 55330  
143-214-1181 OFFICE

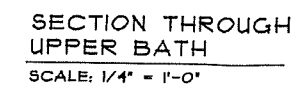
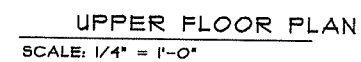
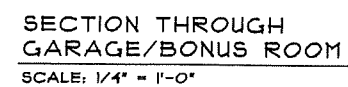
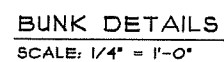
ELEVATIONS  
SCALE AS SHOWN

PLAN DATE: 8-23-25  
SHEET # 1 OF 7

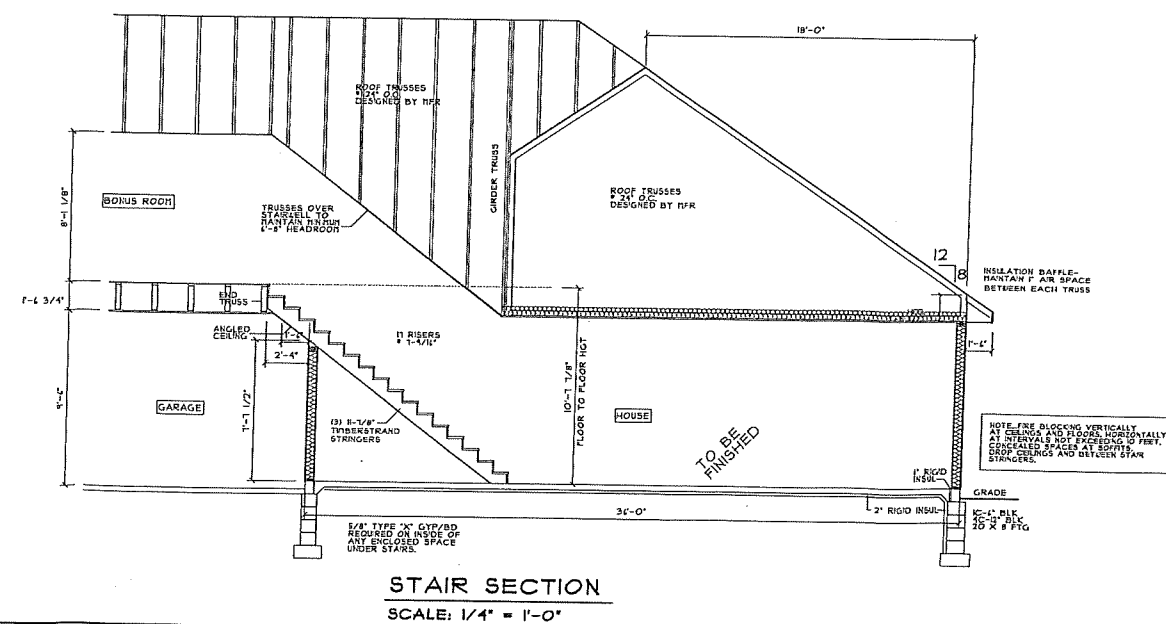
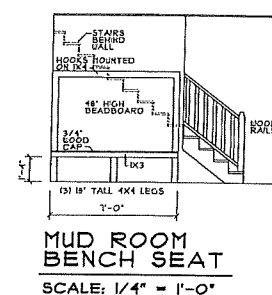
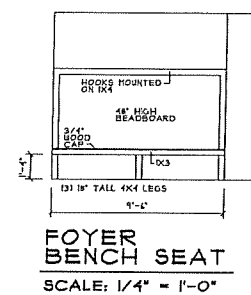
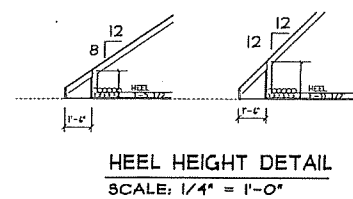
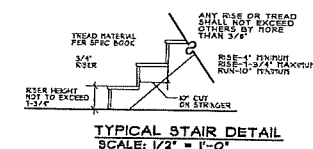
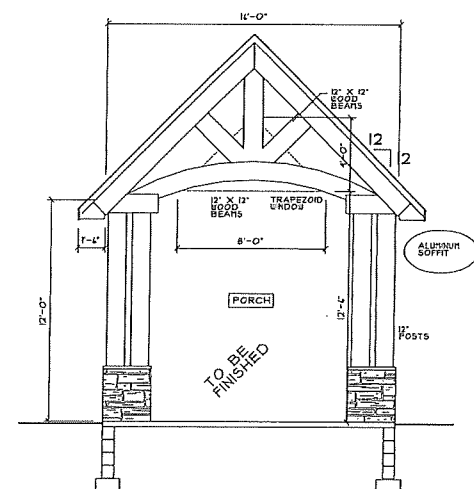
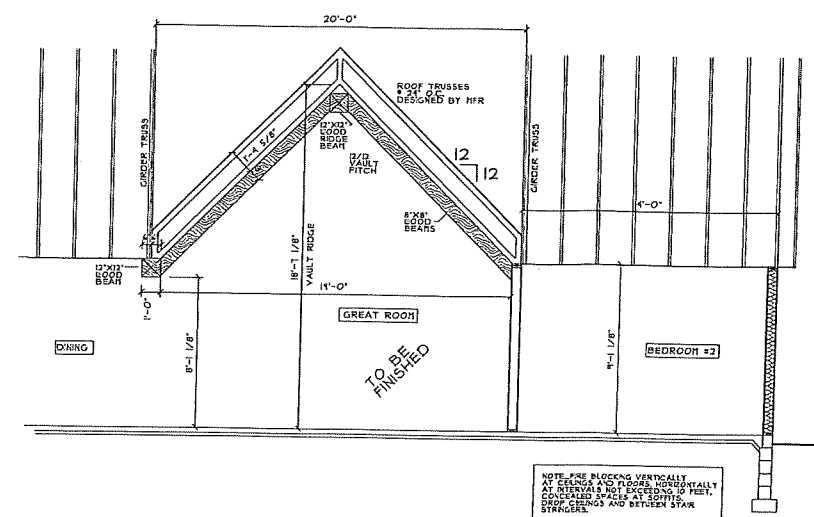
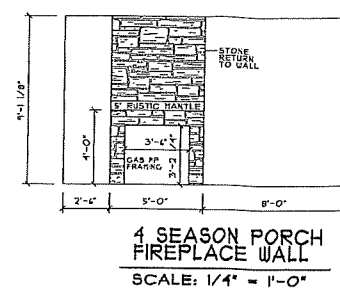
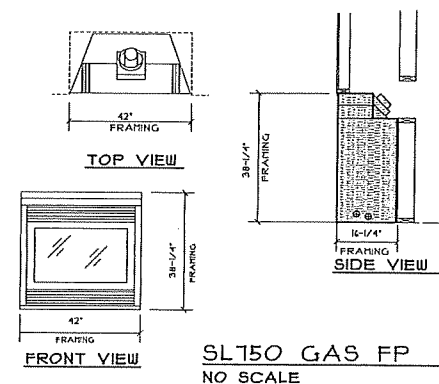
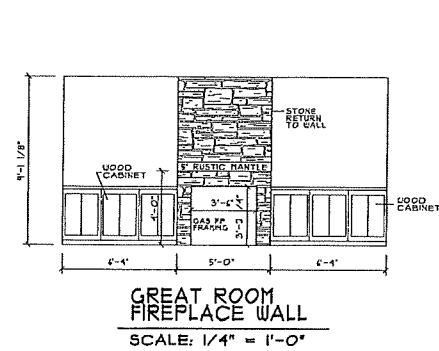
PRELIMINARY-DO NOT BUILD







UPPER-SECTIONS  
SCALE AS SHOWN  
PLAN DATE: 6-23-2  
SHEET # 4 OF 7



| REVISION DATES |         |
|----------------|---------|
| 4-12-25        | 4-23-25 |
| 4-17-25        |         |
| 4-18-25        |         |
| 4-21-25        |         |
| 4-22-25        |         |
| 4-23-25        |         |
| 5-20-25        |         |
| 5-21-25        |         |
| 5-23-25        |         |

ALL MEASUREMENTS AND LOCATIONS OF ALL OBJECTS HAVE BEEN PLACED AS ACCURATELY AS POSSIBLE. SOME ADJUSTMENTS MAY BE NECESSARY IN THE ACTUAL CONSTRUCTION DUE TO STRUCTURAL FRAMING AND OTHER FIELD

**COPYRIGHT NOTICE**

RESIDENCE FOR:  
TROY & KATHY LENTNER  
ADDRESS  
CITY  
LOT & BLOCK  
DEVELOPMENT

| PROJECT TITLE     | DATE | BY | REMARKS |
|-------------------|------|----|---------|
| CUSTOM<br>RAMBLER |      |    |         |

PRICE CUSTOM HOMES  
550 FREEPORT AVENUE  
ELK RIVER, MN 55330

763-276-7191 OFFICE

CTIONS/DETAILS  
ALE AS SHOWN

AM DATE 8-23-25

# RADON MITIGATION-PASSIVE SYSTEM

## 1. SUBFLOOR PREPARATION

### CLAY JOBS

ALL INTERIOR BASEMENT FLOOR SPACE TO BE BACKFILLED WITH AGGREGATE APPROXIMATELY 1' DEEP. THE AGGREGATE SHALL CONSIST OF MATERIAL THAT WILL PASS THROUGH A 2 INCH SIEVE AND BE RETAINED BY A 1/4 INCH SIEVE.

SAND SUPPLIED BY EXCAVATOR  
SAND INSTALLED BY EXCAVATOR  
RADON SEALED SUMP BASKET AND COVER/DRAIN TILE INSTALLED BY EXCAVATOR

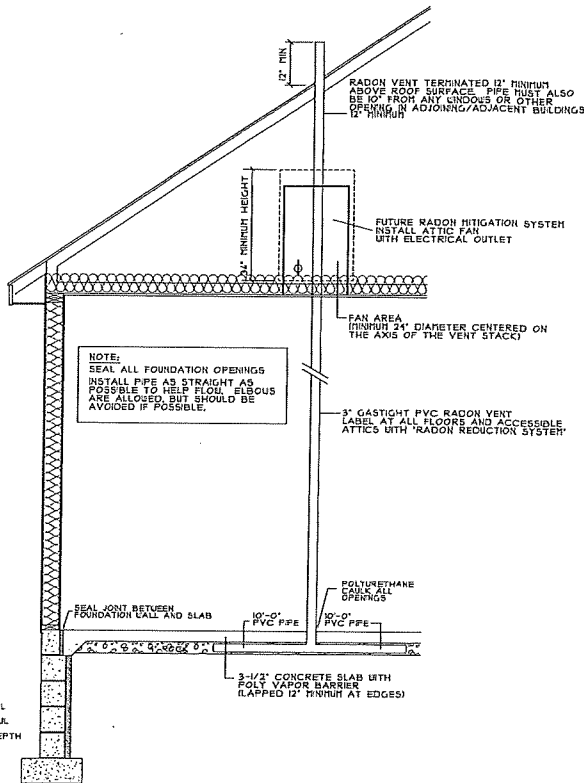
## RADON MITIGATION-ALTERNATIVE PASSIVE SYSTEM

### SAND JOBS

A FOUNDATION DRAIN PIPE SYSTEM INSTALLED UNDER CONCRETE FLOOR SLAB AREAS, CONSISTING OF A CONTINUOUS LOOP OF MINIMUM 1/2" PERFORATED PIPE SHALL BE LAID IN THE SUB-GRADE WITH THE TOP OF THE PIPE LOCATED APPROXIMATELY 1 INCH BELOW THE CONCRETE SLAB. THE LOOP OF PERFORATED PIPE MUST BE BURIED 4 INCHES DEEP IN A GAS-PERMEABLE LAYER OF CLEAN SAND FILL.

SAND SUPPLIED BY WATERPROOFING CONTRACTOR  
SAND INSTALLED BY WATERPROOFING CONTRACTOR  
RADON SEALED SUMP BASKET AND COVER/DRAIN TILE SUPPLIED BY WATERPROOFING CONTRACTOR  
RADON SEALED SUMP BASKET AND COVER/DRAIN TILE INSTALLED BY WATERPROOFING CONTRACTOR

- SOIL GAS RETARDER (4 MIL POLY) THE SOIL IN BASEMENT FLOOR AREAS SHALL BE COVERED WITH A CONTINUOUS LAYER OF MINIMUM 1/2" POLYETHYLENE SOIL-GAS-RETARDER. THE GROUND COVER SHALL BE LAPPED A MINIMUM OF 12 INCHES AT JOINTS AND SHALL EXTEND TO ALL FOUNDATION WALLS ENCLOSING THE CRAWL SPACE AREA. 1 MIL POLY SUPPLIED AND INSTALLED BY CONCRETE SUBCONTRACTOR.
- FLOOR OPENINGS-OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPES, URES, OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS OR OTHER FLOOR ASSEMBLIES SHALL BE FILLED WITH A POLYURETHANE CAULK.
- CONCRETE JOINTS-ALL CONCRETE JOINTS, ISOLATION JOINTS, CONSTRUCTION JOINTS, AND ANY OTHER JOINTS IN CONCRETE SLABS OR FOUNDATION WALLS SHALL BE SEALED WITH A CAULK OR SEALANT. GAPS OR JOINTS SHALL BE CLEARED OF LOOSE MATERIAL AND FILLED WITH POLYURETHANE CAULK.
- CONDENSATION DRAINS-SHAIR BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT.
- SUMPS-SUMP PITS SERVING AS THE TERMINATION POINT FOR SUB-SLAB OR INTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH A GASKETED OR OTHERWISE SEALED LID. SUMPS USED AS THE SUCTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM SHALL HAVE A LID DESIGNED TO ACCOMMODATE THE VENT PIPE. SUMPS USED AS A FLOOR DRAIN SHALL HAVE A LID EQUIPPED WITH A TRAPPED KLET.
- VENT PIPE-A PLUMBING TEE CONNECTION SHALL BE INSERTED HORIZONTALLY BENEATH THE POLY WITH ONE 10 FOOT SECTION OF A PERFORATED PIPE CONNECTED TO EACH SIDE OF THE TEE FITTING AND THEN CONNECTED TO A 3/4" OR 1 INCH DIAMETER VENT PIPE INSTALLED THROUGH THE SHEETING. THE VENT PIPE SHALL BE OF SOLID PIPING MATERIAL AND SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS, TERMINATED AT LEAST 10 FEET AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET BELOW THE EXHAUST POINT, AND 10 FEET FROM ANY WINDOW OR OTHER OPENING.
- VENT PIPE DRAINAGE-ALL COMPONENTS OF THE RADON VENT PIPE SYSTEM SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR POLY.
- VENT PIPE ACCESSIBILITY-RADON VENT PIPES SHALL PROVIDE ENOUGH SPACE AROUND THE PIPE FOR FUTURE INSTALLATION OF A FAN SYSTEM. THE SPACE PROVIDED FOR INSTALLATION OF A FUTURE FAN SHALL BE A MINIMUM OF 24 INCHES IN DIAMETER, CENTERED ON THE AXIS OF THE VENT STACK, AND SHALL EXTEND FOR A MINIMUM VERTICAL DISTANCE OF 3 FEET.
- VENT PIPE IDENTIFICATION-ALL RADON VENT PIPES SHALL BE IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS. THE LABEL SHALL READ: "RADON REDUCTION SYSTEM".
- POWER SOURCE-TO PROVIDE FOR FUTURE INSTALLATION OF AN ACTIVE SUB-MEMBRANE, AN ELECTRICAL CIRCUIT TERMINATED IN AN APPROVED BOX SHALL BE INSTALLED DURING CONSTRUCTION IN THE ATTIC LOCATION OF VENT PIPE FANS.



PASSIVE RADON SYSTEM  
CONNECTED TO DRAIN TILE DETAIL  
SCALE: 1/2" = 1'-0"

## GENERAL PLAN NOTES

ALL INTERIOR WALLS 3-1/2" UNLESS NOTED OTHERWISE. ALL INTERIOR PLUMBING WALLS UNLESS NOTED OTHERWISE. ALL ANGLED WALLS ARE 45 DEGREES UNLESS NOTED OTHERWISE.

TOILET BARS MOUNTED AT 34" AND TOILET PAPER HOLDERS MOUNTED AT 24" SAFETY GLAZING GLASS TO BE USED ON ALL GLASS IN TUB AND SHOWER AREA.

ATTIC ACCESS REQUIRED MINIMUM 22" X 30" IN AN ACCESSIBLE LOCATION. SMOKE DETECTORS INTERCONNECTED. HARD WIRED, WITH BATTERY BACKUP EACH LEVEL AND EACH BEDROOM.

SUMP BASKET COVER TO BE SECURED.

GARAGE/HOUSE SEPARATION WALL TO BE ONE HOUR FIRE RESISTIVE CONSTRUCTION ON GARAGE SIDE OF WALL WITH JOINTS TAPED.

LEGIBLE SET OF MANUFACTURERS ENGINEERED TRUSS DETAILS TO BE POSTED ON JOB SITE.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.

CONTINUOUS AIR BARRIER TO BE PROVIDED AT ALL ELECTRICAL, MECHANICAL, AND PLUMBING PENETRATIONS.

5/8" TYPE "X" GYP/BD REQUIRED ON INSIDE OF ANY ENCLOSED SPACE UNDER STAIRS.

EVERY PERSON PERFORMING WORK FOR WHICH THE CODE IS APPLICABLE SHALL COMPLY WITH THE CODE.

CARBON MONOXIDE DETECTORS ARE REQUIRED WITHIN 10 FEET OF EACH ROOM LAID OUTLY USED FOR SLEEPING PURPOSES.

EXHAUST FANS MUST BE VENTED TO OUTSIDE AIR.

INSULATE DUCT IN UNHEATED AREAS.

BASEMENT CONCRETE SLAB TO INCLUDE FIBER MESH.

GARAGE CONCRETE SLAB TO INCLUDE 4"X4" REBAR PATTERN.

EXTERIOR CONCRETE TO INCLUDE REBAR.

## WINDOW & DOOR NOTES

EGRESS ONE WINDOW IN LOWER LEVEL AND ONE WINDOW IN EACH BEDROOM MUST HAVE A 20" X 20" NET OPERABLE AREA WITH A MINIMUM OF 20" IN WIDTH AND 24" IN HEIGHT. MAXIMUM SILL HEIGHT ABOVE FLOOR IS 44".

BLOCK ALL EXTERIOR PATIO DOORS WITH NO DECK ATTACHED SO DOOR CANNOT BE OPENED MORE THAN 4".

GARAGE/HOUSE SEPARATION DOOR TO BE 20 MINUTE FIRE RATED, LATCHING & GASKETED.

## FOUNDATION NOTES

FOUNDATION ANCHORAGE  
PROVIDE MINIMUM 1/2" BOLTS WITH AT LEAST 2 PER PIECE AND PLACED BETWEEN 3'-0" TO 12" FROM ENDS OF EACH BOARD. SPACED A MAXIMUM OF 4' O.C. BOLTS SHALL HAVE MINIMUM 1" EMBEDMENT IN CONCRETE AND BE CAPPED WITH NUTS AND WASHERS. LATERALLY SUPPORTED FOUNDATION WALL REQUIREMENT-2" WASHER, 1/2" THICK, AND COUNTER SUNK 2".

FOUNDATION WATERPROOFING MEMBRANE  
CONCRETE AND MASONRY FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES SHALL BE WATERPROOFED WITH AN APPROVED MATERIAL FROM TOP OF FOOTING TO FINISHED GRADE. JOINTS SHALL BE LAPPED AND SEALED.

VAPOR RETARDER REQUIRED BETWEEN CONCRETE FLOOR SLAB AND SUB-GRADE. GARAGE IS EXCLUDED.

APPROVED FOUNDATION DRAINAGE SYSTEM REQUIRED (R405.1)  
DRAFTSTOPPING REQUIRED. CONCEALED AREA NOT TO EXCEED 1000 SQ. FT.

ALL WATER FROM FOUNDATION DRAINS OR SUMPS MUST BE PUMPED OR DRAINED DIRECTLY TO THE EXTERIOR THROUGH RIGID PLASTIC OR STEEL PIPING. NO SUMP WATER IS ALLOWED TO BE PUMPED INTO FLOOR DRAINS, SINKS, OR ANY OTHER ACCESS TO SANITARY SEWER.

SUB-SLAB DEPRESSURIZATION SYSTEM REQUIRED (RADON REDUCTION SYSTEM) PER MNRC 1322.103 SECTION 103.4

PROVIDE CONNECTION LOCATION POINT FOR ELECTRICAL SERVICE TO CONCRETE-ENCASED ELECTRODE. CONCRETE ENCASED ELECTRODE MAY BE REQUIRED.

PROVIDE CLEARANCE TO COMBUSTIBLES PER MECHANICAL CODE FOR ALL VENTS/CHIMNEYS CONVEYING COMBUSTION PRODUCTS.

PROVIDE OUTSIDE COMBUSTION AIR TO FURNACE AREA OR THE RETURN AIR DUCT.

PROVIDE CORE FILL AND VERTICAL REINFORCEMENT A MINIMUM OF SIX FEET ON CENTER PER MNRC 1303-1500

PROVIDE 1" WOOD/EARTH SEPARATION

FROST FOOTING MINIMUM 42" DEPTH.

## FRAMING NOTES

ALL HEADERS AND POSTS DESIGNED AND SIZED BY SUPPLIER

ALL HEADERS TO BE 12" 2X10'S UNLESS NOTED OTHERWISE

ALL DIMENSION LUMBER HEADERS TO HAVE MINIMUM ONE TRIMMER AT EACH END UP TO 5'-0" SPAN. HEADERS GREATER THAN 5'-0" TO HAVE MINIMUM TWO TRIMMERS AT EACH END UNLESS OTHERWISE NOTED.

ALL CONNECTIONS TO BE MADE WITH ADEQUATE SIMPSON, USP OR EQUAL JOIST HANGERS, CLIPS, POST CAPS, AND POST BASES.

CONNECT MULTI-MEMBER LSL AND LVL'S TOGETHER PER MANUFACTURER REQUIREMENTS.

ALL POINT LOAD STUD SUPPORTS (JACK STUDS) TO BE CARRIED THRU EACH FLOOR TO SOLIDLY BEAR ON THE FOUNDATION. PROVIDE SOLID BLOCKING IN FLOOR SYSTEM BELOW AT ALL POINT LOAD SUPPORTS.

WHERE CERTISTUD APPLIED TO FOUNDATION, HOLD FRAMING OUT FLUSH WITH CERTISTUD.

ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.

CAULK ALL EXTERIOR WALL PLATES.

EXTERIOR DECKS, POSTS, ETC. TO BE GREEN TREATED OR EQUIVALENT.

WOOD IN DIRECT CONTACT WITH EARTH OR WITHIN 4" OF GRADE MUST BE TREATED OR DECAY RESISTANT.

PROVIDE BLOCKING FOR ALL UPPER 1 LOWER CABINETS.

FIRESTOP SOFFITS AT CEILING.

FIRESTOP FLUESPACES AT FLOOR & CEILING.

PROVIDE WINDOWASH 18" FROM BOTTOM OF TRUSS CHORD 1 UP.

TIMBERSTRAND STUDS SHOWER WALLS

TIMBERSTRAND STUDS CABINET WALLS

## ELEVATION NOTES

1 LAYER OF 40# COATED ROOFING OR COATED GLASS & BASE SHEET SHALL BE APPLIED FROM THE EAVES TO A LINE 24" INSIDE THE EXTERIOR WALL LINE WITH ALL LAPS CEMENTED TOGETHER.

MUST POST ADDRESS ON SITE VISIBLE FROM ROAD.

STORM WATER RUN-OFF SHALL BE CHANNIELED INTO SHALE, PONDING AREA OR OTHER SUITABLE FACILITY. NO RUN-OFF SHALL BE DIRECTED ONTO ADJACENT PROPERTIES.

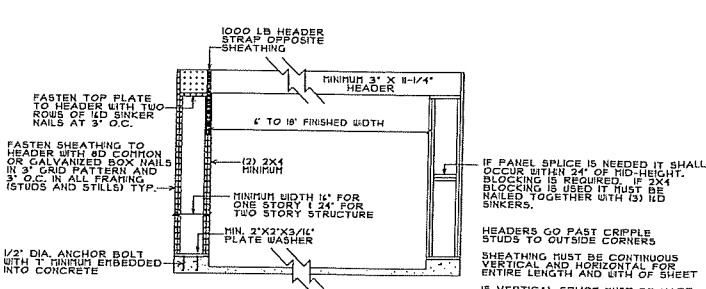
CLEAN STREET DAILY OF ANY MATERIAL TRACKED ONTO IT FROM THIS SITE.

DUE TO VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE GRADE LINES REFLECTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY. EVERY EFFORT HAS BEEN MADE TO REFLECT ACTUAL GRADES, AND THESE GRADES MUST BE VERIFIED BY SURVEY 1 ACTUAL SITE.

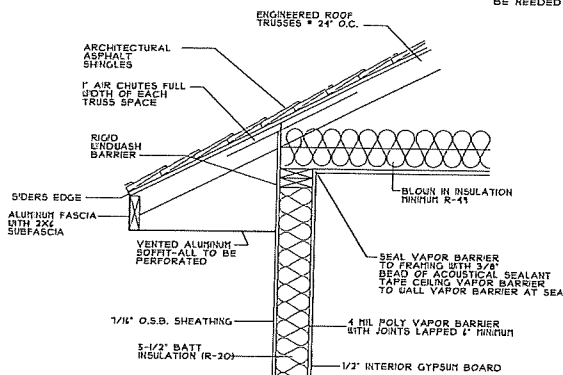
PROVIDE ATTIC VENTILATION NET FREE AREA TO BE EQUAL TO 1/50TH OF ATTIC AREA OR 1/10TH OF ATTIC AREA PROVIDED AT LEAST 50% IS IN UPPER PORTION OF ROOF WITH BALANCE IN SOFFIT.

ALL OPENINGS TO EXTERIOR MUST BE CAULKED 1 FLASHED. FLASHING IS REQUIRED WHERE ROOF AND VERTICAL SURFACES MEET OR WHERE SLOING MATERIAL CHANGES.

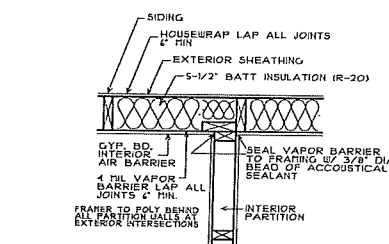
PROVIDE PROPER DRAINAGE AWAY FROM BUILDING.



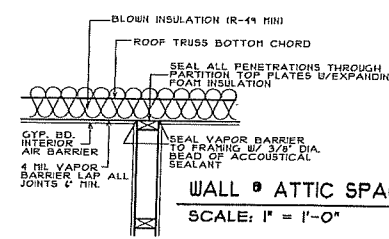
BRACED WALL PANEL  
AT GARAGE DOORS  
NO SCALE



TRUSS DETAIL  
SCALE: 1" = 1'-0"



WALL INTERSECTION DETAIL  
SCALE: 1" = 1'-0"



WALL & ATTIC SPACE  
SCALE: 1" = 1'-0"

## STAIR & RAILING NOTES

EVERY STAIRWAY SHALL HAVE A HEADROOM CLEARANCE OF NOT LESS THAN 8'-0".

CARPENTER TO PROVIDE BLOCKING FOR NEWEL POSTS.

TOP OF HANDRAILS TO BE MOUNTED AT 34" ABOVE FRONT EDGE OF TREAD NOSING-CONTINUOUS FULL LENGTH OF STAIRS, TURN ENDS INTO NEWEL POST OR WALL.

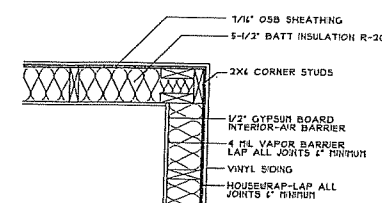
RAILINGS ARE AT MINIMUM 34" HEIGHT WITH MAXIMUM LESS THAN 4" BETWEEN INTERMEDIATE RAILS.

STAIRS 1" MINIMUM RISE AND 1-3/4" MAXIMUM RISE. STAIR TREADS MINIMUM 10" RUN ON ALL STAIRS. ANY RISER OR TREAD SHALL NOT EXCEED OTHERS BY 3/8".

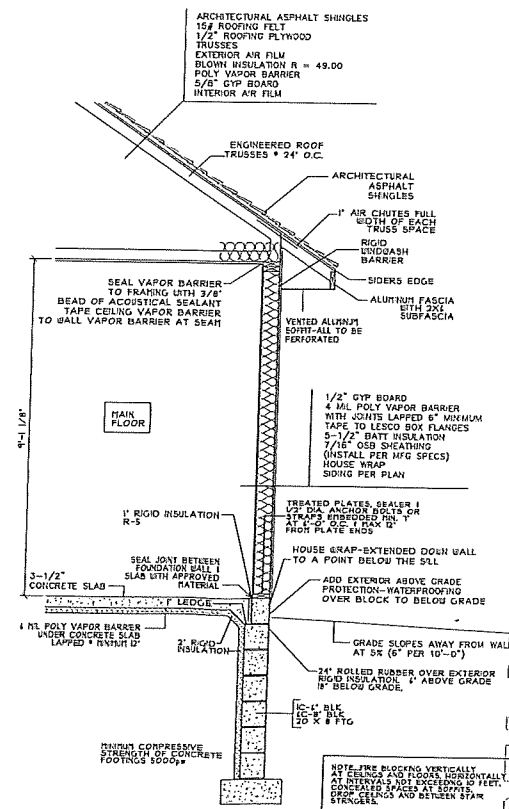
EXTERIOR STAIR SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY.

## PLAN CHANGES

6-23-25 RFI # 1310 1003  
COMPLETE PLANS FOR PRE-CONSTRUCTION MEETING AS SHOWN



OUTSIDE CORNER DETAIL  
SCALE: 1" = 1'-0"



RAMBLER SOG  
WALL SECTION  
SCALE: 1/2" = 1'-0"

PRELIMINARY-DO NOT BUILD

AL MEASUREMENTS AND LOCATIONS OF ALL WALLS, DOORS, WINDOWS, AND OTHER FEATURES SHALL BE VERIFIED BY THE FIELD ENGINEER PRIOR TO CONSTRUCTION. ANY CHANGES TO THE ORIGINAL DESIGN SHALL BE MADE IN WRITING AND SIGNED BY THE FIELD ENGINEER AND THE ARCHITECT. ANY CHANGES TO THE ORIGINAL DESIGN SHALL BE MADE IN WRITING AND SIGNED BY THE FIELD ENGINEER AND THE ARCHITECT.

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RESIDENCE FOR:  
TROY I KATHY LENTNER  
CITY  
LOT 1 BLOCK  
DEVELOPMENT

PROJECT TITLE  
CUSTOM  
RAMBLER

PRICE: CUSTOM HOMES  
550 FREEPORT AVENUE  
ELK RIVER, MN 55330

163-216-1191 OFFICE

SECTIONS/DETAILS  
SCALE AS SHOWN

PLAN DATE 6-23-25

SHEET # 6 OF 7

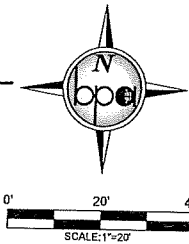


EROSION CONTROL NOTES:

1. CONTRACTOR SHALL CONFINE CONSTRUCTION OPERATIONS TO THE CONSTRUCTION/GRADING LIMITS SHOWN.
2. ALL WORK SHALL CONFORM TO THE MINNESOTA POLLUTION CONTROL AGENCY'S STORM WATER PERMIT REQUIREMENTS. CONTRACTOR SHALL OBTAIN ALL PERMITS AND COMPLY WITH ALL PERMIT REQUIREMENTS.
3. THE SITE SOIL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY DEMOLITION OR GRADING OPERATIONS AND MAINTAINED TO CONFORM WITH THE STANDARDS SPECIFIED BY THE PERMIT.
4. CONTRACTOR SHALL INSPECT TEMPORARY EROSION CONTROL MEASURES ON THE ENTIRE SITE AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF ANY MEASURABLE RAINSTORM. DAMAGED SILT FENCE OR OTHER EROSION CONTROL DEVICES OR PRACTICES SHALL BE REPAIRED IMMEDIATELY. INSPECTION AND MAINTENANCE OF DEVICES SHALL CONTINUE UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO THE MPCA.
5. ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION.
6. THE SITE SOIL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSTALLED AND MAINTAINED TO CONFORM WITH THE STANDARDS SPECIFIED BY THE CITY OF LAKE SHORE AND THE MPCA.
7. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE DISTURBANCE OF ANY AREAS AND MAINTAINED UNTIL ALL TRIBUTARY DISTURBED AREAS ARE RESTORED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EROSION CONTROL MEASURES, INCLUDING SILT FENCE AND BALES, UPON ESTABLISHMENT OF PERMANENT VEGETATION IN SAID AREAS.
9. ALL SOILS TRACKED ONTO PAVEMENT OR ANY OTHER OFF-SITE AREA SHALL BE REMOVED DAILY.
10. THE SITE SEDIMENT CONTROL FACILITIES FOR THE PROJECT MUST BE INSTALLED PRIOR TO ANY GRADING OPERATION.
11. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AND VEGETATED AS SOON AS POSSIBLE. ANY FINISHED AREAS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS AFTER FINISHED GRADING IS COMPLETED IN ACCORDANCE TO MN/DOT 2575.
12. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH MN/DOT SEED MIX, MULCHED, FERTILIZED & DISK ANCHORED, PER THE FOLLOWING SCHEDULE:
- STANDARD SEED MIX 25-131: 220 LB/AC.  
RAIN GARDEN SEED MIX 33-261: 35 LB/AC.  
FERTILIZER 22-5-10: 350 LB/AC.  
MULCH TYPE 3: 2 TONS/AC.
13. CONTRACTOR SHALL INSTALL TEMPORARY SEDIMENT BMP'S SHOWN AND NOT SHOWN ON PLANS DURING PHASING ON PROJECT TO COMPLY WITH MPCA, CITY INSPECTOR AND DEVELOPER REQUEST.

LEGEND:

- PROPOSED RIP RAP
- NEW TOP-BACK OF CURB ELEVATION
- NEW FLOWLINE OF CURB ELEVATION
- NEW SIDEWALK ELEVATION
- NEW TOP OF PAVEMENT ELEVATION
- NEW TOP OF GRAVEL ELEVATION
- NEW FINISHED GRADE ELEVATION
- EXISTING ELEVATION
- PROPOSED CONTOUR
- PROPOSED SLOPE
- EMERGENCY OVERFLOW
- GRADING LIMITS AND PROPOSED TEMPORARY SILT FENCE
- LANDSCAPE AREA (MAY VARY)



GRADING GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD REPRESENTED WITHIN THE PLANS AS SHOWN AND ALERT THE ENGINEER BEFORE BIDDING THE PROJECT AND BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY THE OWNER OF ANY CHANGES. CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS PRIOR TO BIDDING THE PROJECT AND COMMENCING WORK.
3. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SILT AND DEBRIS RUN-OFF DURING GRADING OPERATIONS (I.E. SILT FENCE, STRAW BALES, ETC.).
4. CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL PAVEMENTS THAT REMAIN TO THEIR ORIGINAL IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS PRIOR TO BIDDING THE PROJECT.
5. TURF ESTABLISHMENT AREAS SHALL RECEIVE MINIMUM OF 4" DEPTH AS MEASURED IN PLACE OF TOPSOIL. TOPSOIL SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. ALL GRADED SLOPES GREATER THAN OR EQUAL TO 5:1 SHALL BE HYDROSEEDDED, EROSION CONTROL BLANKETED, OR MULCHED TO HELP STABILIZE THE SLOPES BY GENERAL CONTRACTOR.
6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE / EXCESS / WASTE MATERIAL AS REQUIRED. ALL COSTS ASSOCIATED WITH IMPORTING AND EXPORTING MATERIALS SHALL BE INCIDENTAL TO THE CONTRACT.
7. THERE IS AN ANTICIPATED AMOUNT OF FILL NEEDED ON SITE. THE CONTRACTOR SHALL SUBMIT THE QUANTITY OF MATERIAL AND AMOUNT OF ANTICIPATED GRADE ADJUSTMENT FOR REVIEW BY THE ENGINEER A MINIMUM OF FOUR WEEKDAYS PRIOR TO MAKING ADJUSTMENTS. ALL GRADE ADJUSTMENTS MUST BE APPROVED BY THE ENGINEER. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR WORK ASSOCIATED WITH GRADING ADJUSTMENTS, INCLUDING, BUT NOT LIMITED TO, EARTHWORK OPERATIONS, STORM SEWER PIPING AND STRUCTURE ADJUSTMENTS, CONSTRUCTION SURVEYING FOR ADJUSTING FEATURE LOCATIONS ACCORDINGLY, SILT FENCE, ETC.
8. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SEED OR RE-SOD ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
9. ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAIN TILE, OR OTHER POTENTIAL SOURCE FOR CONTAMINATION SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR PIPING OR SIMILAR)
10. CONTRACTOR SHALL MAINTAIN DRAINAGE FROM EXISTING BUILDING AT ALL TIMES. PROVIDE TEMPORARY STORM SEWER (INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, PIPING, ETC.) AS REQUIRED. EXISTING STORM SEWER SHALL NOT BE REMOVED UNTIL TEMPORARY OR PERMANENT STORM SEWER IS INSTALLED AND FUNCTIONAL. COORDINATE ALL REMOVALS WITH APPROPRIATE TRADES (SITE UTILITY CONTRACTOR, MECHANICAL CONTRACTOR, ETC.) AS REQUIRED.

STORM WATER CALCULATIONS:

| EXISTING IMPERVIOUS SURFACES |                     | PROPOSED IMPERVIOUS SURFACES |                     |
|------------------------------|---------------------|------------------------------|---------------------|
| Total lot Area               | 38,000± S.F. to OHW | Total lot Area               | 38,000± S.F. to OHW |
| Existing House/Shed          | 710± S.F.           | Proposed House               | 4,424± S.F.         |
| Driveway/Walk = 734± S.F.    |                     | Existing House = 628± S.F.   |                     |
| Total Impervious Area        | 1,444± S.F. (3.8%)  | Existing Concrete            | 100± S.F.           |
|                              |                     | Driveway/Walk/Pads Area      | 4,058± S.F.         |
|                              |                     | Total Impervious Area        | 8,850± S.F. (23.3%) |
| TOTAL IMPERVIOUS AREA        |                     | 8,850 S.F.                   |                     |
| 1 INCH X IMPERVIOUS AREA     |                     | 738 C.F.                     |                     |
| RAIN GARDEN VOLUME           |                     | AREA                         |                     |
| CONTOUR                      |                     | 1241                         |                     |
|                              |                     | 398 S.F.                     |                     |
|                              |                     | 1242                         |                     |
|                              |                     | 769 S.F.                     |                     |
|                              |                     | 1242.2                       |                     |
|                              |                     | 1109 S.F.                    |                     |
| VOLUME                       |                     | 771 C.F.                     |                     |

771 C.F. > 738 C.F. MEETING 1 INCH IMPERVIOUS REQUIREMENT. STORM RUNOFF FROM THE PROPOSED DRIVEWAY AND WEST PORTION OF THE PROPOSED HOUSE WILL BE COLLECTED INTO A RAIN GARDEN AND BE INFILTRATED. STORM EVENTS GREATER THAN 1 INCH MAY OVERFLOW INTO THE CLEANOUT AND CULVERT, OR OVER THE DRIVEWAY. AS MUCH STORM RUNOFF AS FEASIBLE IS DIRECTED TO THE RAIN GARDEN.

DATE: 07/24/2025  
DESIGN BY: M/JM  
DRAWN BY: M/JM  
CHECKED BY: M/JM  
DWG FILE: GRADING  
FILE NO.: 24-0326.D0

DESIGNATION  
REVISION PER CITY REVIEW

DATE  
07/24/2025

REV  
NO. 1

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed: *Michael J. Pederson*  
Michael J. Pederson  
Date: 07/24/2025  
Lic. No. 61148

BOGART, PEDERSON & ASSOCIATES, INC.  
LAND SURVEYING  
CIVIL ENGINEERING  
ENVIRONMENTAL SERVICES  
13075 FIRST STREET, BECKER, MN 55305-9222  
TEL 763-262-8822 FAX 763-262-8844

LOTS 17 & 18, PINE POINT  
PRICE CUSTOM HOMES  
Lake Shore, Cass County, MN

GRADING PLAN

SHEET NO.  
**C1**

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[Draft] Fw: 09/08/2025 Variance application - City of Lake Shore - Draft Copy

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From

---

**From:** Alex Bitter <Alex.Bitter@widseth.com>  
**Sent:** Tuesday, August 26, 2025 1:34 PM  
**To:** Nicole Hausmann <Nicole.Hausmann@sourcewell-mn.gov>  
**Subject:** RE: 09/08/2025 Variance application - City of Lake Shore - Draft Copy

**EXTERNAL**

Hi Nicole,

My comments are below.

- The gutter downspouts should be directed towards the stormwater rain garden.
- The overflow should be able to outlet towards the lake and not the neighboring property.
- I don't believe a septic area can be located under pavement.
- I assume SBL is setback line? It looks like the house exceeds the limits of the setback line.

Thank you,

**Alex Bitter, PE**

Civil Engineer, VP

218-316-3627

7804 Industrial Park Road

Baxter, MN 56425

**WIDSETH** CELEBRATING  
FIFTY YEARS  
EST. 1975

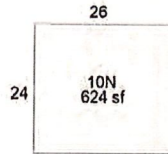
[Widseth.com](https://www.widseth.com)

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**50 Best Places to Work** (*Prairie Business Magazine, 2024*)

90-417-0150

Shed



Fee Owner: 108028 FALCO:  
LENTNER, TROY C & KATHLEEN M  
Taxpayer: 108028 FALCO:FO  
LENTNER, TROY C & KATHLEEN M  
11759 EMERY VILLAGE DR N  
CHAMPLIN MN 55316-2489  
Primary Address/911 #:  
8060 PINE POINT RD  
LAKE SHORE

## DISTRICTS:

Twp/City : 90 LAKE SHORE CITY  
Plat : 417 PINE POINT  
School : 181 BRAINERD SCHOOL  
Lake : 11021800 UPPER GULL4,8,9,16,17-13

## LEGAL DESCRIPTION:

Sec/Twp/Rge : 16 135.0 29 Acres: .00  
LOTS 17 & 18, PINE POINT

## SALES HISTORY:

| Buyer/Seller    | Date              | Inst       | Reject | Sale    | Adjusted | Doc Date   | Doc Nbr     | To                         |
|-----------------|-------------------|------------|--------|---------|----------|------------|-------------|----------------------------|
| LENTNER, TROY C | DALLAVALLE, ELLIO | 07/15/2022 | W      | 525,000 | 520,000  | 2022/07/15 | A A00068661 | LENTNER, TROY C & KATHLEEN |

## TRANSFER HISTORY:

## ASSESSMENT DETAILS:

|             |                                                      |     |  |  |  | Acres | CAMA    | Estimated | Deferred | Taxable |
|-------------|------------------------------------------------------|-----|--|--|--|-------|---------|-----------|----------|---------|
| 2025 Rcd: 1 | Class: 151 Non-Comm Seasonal Residential Recreationa |     |  |  |  | .69   | 432,000 | 432,000   |          | 432,000 |
|             | Hstd: 0 seasonal                                     |     |  |  |  |       |         |           |          |         |
|             | MP/Seq: 90-417-0150                                  | 000 |  |  |  |       | 76,423  | 76,400    |          | 76,400  |
|             | Own% Rel AG% Rel NA% Dsb%                            |     |  |  |  |       |         |           |          |         |
|             | Total MKT                                            |     |  |  |  |       | 508,423 | 508,400   |          | 508,400 |
| 2024 Rcd: 1 | Class: 151 Non-Comm Seasonal Residential Recreationa |     |  |  |  | .69   | 432,000 | 432,000   |          | 432,000 |
|             | Hstd: 0 seasonal                                     |     |  |  |  |       |         |           |          |         |
|             | MP/Seq: 90-417-0150                                  | 000 |  |  |  |       | 71,646  | 71,600    |          | 71,600  |
|             | Own% Rel AG% Rel NA% Dsb%                            |     |  |  |  |       |         |           |          |         |
|             | Total MKT                                            |     |  |  |  |       | 503,646 | 503,600   |          | 503,600 |
| 2023 Rcd: 1 | Class: 151 Non-Comm Seasonal Residential Recreationa |     |  |  |  | .69   | 462,000 | 462,000   |          | 462,000 |
|             | Hstd: 0 cabin                                        |     |  |  |  |       |         |           |          |         |
|             | MP/Seq: 90-417-0150                                  | 000 |  |  |  |       | 71,101  | 71,100    |          | 71,100  |
|             | Own% Rel AG% Rel NA% Dsb%                            |     |  |  |  |       |         |           |          |         |
|             | Total MKT                                            |     |  |  |  |       | 533,101 | 533,100   |          | 533,100 |

## ASSESSMENT SUMMARY:

| Year | Class | Hstd | Land Mkt | Land Dfr | Building | Total Mkt | Total Dfr | Limited Mkt | Limited Dfr | Exemptions | Taxable | New Imp |
|------|-------|------|----------|----------|----------|-----------|-----------|-------------|-------------|------------|---------|---------|
| 2025 | 151   | 0    | 432,000  | 0        | 76,400   | 508,400   |           | 508,400     |             |            | 508,400 | 0       |
| 2024 | 151   | 0    | 432,000  | 0        | 71,600   | 503,600   |           | 503,600     |             |            | 503,600 | 0       |
| 2023 | 151   | 0    | 462,000  | 0        | 71,100   | 533,100   |           | 533,100     |             |            | 533,100 | 0       |

## CAMA LAND DETAILS:

|                      |  |  |  |  |  |  |  |  |  |  |                                |  |  |  |  |  |  |  |  |  |  |                                    |  |  |  |  |  |  |  |  |  |  |            |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |          |  |  |  |  |  |  |  |  |  |  |               |  |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|----------------------|--|--|--|--|--|--|--|--|--|--|--------------------------------|--|--|--|--|--|--|--|--|--|--|------------------------------------|--|--|--|--|--|--|--|--|--|--|------------|--|--|--|--|--|--|--|--|--|--|-----------|--|--|--|--|--|--|--|--|--|--|----------|--|--|--|--|--|--|--|--|--|--|---------------|--|--|--|--|--|--|--|--|--|--|---------|--|--|--|--|--|--|--|--|--|--|-----------|--|--|--|--|--|--|--|--|--|--|-------------|--|--|--|--|--|--|--|--|--|--|-------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| Land market: 90      |  |  |  |  |  |  |  |  |  |  | LAKESHORE CITY                 |  |  |  |  |  |  |  |  |  |  | Last calc date/env: 02/24/25 B     |  |  |  |  |  |  |  |  |  |  |            |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |          |  |  |  |  |  |  |  |  |  |  |               |  |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| Neighborhood: 90218B |  |  |  |  |  |  |  |  |  |  | UPPER GULL-GL11 S16 (PINE POIN |  |  |  |  |  |  |  |  |  |  | 1.00 Asmt year: 2025               |  |  |  |  |  |  |  |  |  |  |            |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |          |  |  |  |  |  |  |  |  |  |  |               |  |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| COG: 108028          |  |  |  |  |  |  |  |  |  |  | 1 Ac/FF/SF: .69                |  |  |  |  |  |  |  |  |  |  | Lake: 11021800 UPPER GULL4,8,9,16, |  |  |  |  |  |  |  |  |  |  |            |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |          |  |  |  |  |  |  |  |  |  |  |               |  |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| Wid: .00             |  |  |  |  |  |  |  |  |  |  | Dth: 300.00                    |  |  |  |  |  |  |  |  |  |  | Avg CER:                           |  |  |  |  |  |  |  |  |  |  |            |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |          |  |  |  |  |  |  |  |  |  |  |               |  |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| Land/Unit Type       |  |  |  |  |  |  |  |  |  |  | Units                          |  |  |  |  |  |  |  |  |  |  | Qlt/Acc                            |  |  |  |  |  |  |  |  |  |  | -Other- OV |  |  |  |  |  |  |  |  |  |  | Base Rate |  |  |  |  |  |  |  |  |  |  | Adj Rate |  |  |  |  |  |  |  |  |  |  | Value Asmt Cd |  |  |  |  |  |  |  |  |  |  | Acreage |  |  |  |  |  |  |  |  |  |  | PTR Value |  |  |  |  |  |  |  |  |  |  | Improvement |  |  |  |  |  |  |  |  |  |  | CER Factors |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|                      |  |  |  |  |  |  |  |  |  |  | Size                           |  |  |  |  |  |  |  |  |  |  | Comment                            |  |  |  |  |  |  |  |  |  |  | Df         |  |  |  |  |  |  |  |  |  |  | Est/Dfr   |  |  |  |  |  |  |  |  |  |  | Est/Dfr  |  |  |  |  |  |  |  |  |  |  | Est/Dfr       |  |  |  |  |  |  |  |  |  |  | Typ New |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| SL                   |  |  |  |  |  |  |  |  |  |  | UN                             |  |  |  |  |  |  |  |  |  |  | 1.00                               |  |  |  |  |  |  |  |  |  |  |            |  |  |  |  |  |  |  |  |  |  | 12000.00  |  |  |  |  |  |  |  |  |  |  | 12000.00 |  |  |  |  |  |  |  |  |  |  | 12000         |  |  |  |  |  |  |  |  |  |  | 1       |  |  |  |  |  |  |  |  |  |  | 151       |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|                      |  |  |  |  |  |  |  |  |  |  | 1.00                           |  |  |  |  |  |  |  |  |  |  |                                    |  |  |  |  |  |  |  |  |  |  |            |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |          |  |  |  |  |  |  |  |  |  |  |               |  |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| 218B                 |  |  |  |  |  |  |  |  |  |  | FF                             |  |  |  |  |  |  |  |  |  |  | 100.00 4                           |  |  |  |  |  |  |  |  |  |  |            |  |  |  |  |  |  |  |  |  |  | 7000.00   |  |  |  |  |  |  |  |  |  |  | 4200.00  |  |  |  |  |  |  |  |  |  |  | 420000        |  |  |  |  |  |  |  |  |  |  | 1       |  |  |  |  |  |  |  |  |  |  | 151       |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  | .69         |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|                      |  |  |  |  |  |  |  |  |  |  | 100.00                         |  |  |  |  |  |  |  |  |  |  |                                    |  |  |  |  |  |  |  |  |  |  |            |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |          |  |  |  |  |  |  |  |  |  |  |               |  |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| Front feet:          |  |  |  |  |  |  |  |  |  |  | 100.00                         |  |  |  |  |  |  |  |  |  |  |                                    |  |  |  |  |  |  |  |  |  |  |            |  |  |  |  |  |  |  |  |  |  | Totals:   |  |  |  |  |  |  |  |  |  |  |          |  |  |  |  |  |  |  |  |  |  | 432.000       |  |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |  |           |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |             |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |

Mineral:

## CAMA SUMMARY:

Schedule: 2025 Quintile date: 09/26/2023 Insp/By/Cmp: 09/26/2023 CN R  
Neighborhood: 90218B UPPER GULL-GL11 S16 (PINE POIN

| Nbr                       | Typ | Subtype | Description | Wid | Len | Size | Class | Qlt | H/G | Est Value | New Imp | Class Code |
|---------------------------|-----|---------|-------------|-----|-----|------|-------|-----|-----|-----------|---------|------------|
| 1                         | RES | 1-3     |             | 24  | 26  | 624  |       | 050 | H   | 75,723    | 0       | 151        |
| 2                         | OTH | SHED    |             |     |     | 1    |       | 5   |     | 700       | 0       | 151        |
| Estimated land value :    |     |         |             |     |     |      |       |     |     | 432,000   |         |            |
| Mineral value . . . . :   |     |         |             |     |     |      |       |     |     |           |         |            |
| Improvement value . . . : |     |         |             |     |     |      |       |     |     | 76,423    |         |            |
| Total value . . . . . :   |     |         |             |     |     |      |       |     |     | 508,423   |         |            |

CAMA IMP DETAILS: 1 RES 1-3  
House/Garage: H Schedule: 2025  
Construction class/Quality: 050  
Actual/Effective year built: 1990  
Condition:

DEPRECIATION PCT GOOD FACTORS:  
Physical: RES .81  
Functional incurable . . .  
Economic: 90218B 1.35  
Additional . . . . .  
Total percent good . . . . 1.09

NOTES: -----

| ----                | Characteristics/Areas | ----         | Wid | Len | Units  | Str | Fdt | Wal | OV | Rate     | RCN    | Sum | PD | Curable | %Cmp | %New | New Imp | RCNLD |
|---------------------|-----------------------|--------------|-----|-----|--------|-----|-----|-----|----|----------|--------|-----|----|---------|------|------|---------|-------|
| 010                 | MEASURED              | Y YES        |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 020                 | VIEWED                | Y INTERIOR   |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 030                 | COLOR                 | GRY GRAY     |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 040                 | CONSTRUCTN            | 1 FRAME      |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 050                 | FOUNDATION            | 2 CONCRETE   |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 060                 | EXT WALLS             | MAS MASONITE |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 070                 | ROOF TYPE             | 1 GABLE      |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 080                 | ROOF MAT              | 1 ASPHLT SHG |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 090                 | WINDOWS               | 1 CASE C/O   |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 090                 | WINDOWS               | 4 DBL HUNG   |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 100                 | FURN TYPE             | 2 BASEBOARD  |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 110                 | FUEL TYPE             | 2 ELECTRIC   |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 120                 | ELEC SERV             | 7 UNKNOWN    |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 130                 | WELL                  | Y YES        |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 140                 | SEPTIC                | Y YES        |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 150                 | INT WALL              | 1 DRYWALL    |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 160                 | INT FLOOR             | 1 CPT/VINYL  |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 170                 | # BATHS               | 1 =1         |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 180                 | # BEDROOMS            | 2 =2         |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| 200                 | PATIO                 | 3 CONC SLAB  |     |     | 1      |     |     |     |    | 1,200.00 | 1,200  | 1   |    | 1.00    |      |      | 1,313   |       |
| 300                 | STYLE                 | RAM RAMBLER  |     |     |        |     |     |     |    |          |        |     |    |         |      |      |         |       |
| BAS                 | BASE AREA             | 050 D5       | 24  | 26  | 624    | 5   |     |     |    | 109.00   | 68,016 | 1   |    | 1.00    |      |      | 74,410  |       |
| Effective BAS rate: |                       |              |     |     | 119.25 |     |     |     |    | Totals:  | 69,216 |     |    |         |      |      | 75,723  |       |
| Ground floor area:  |                       |              |     |     | 624    |     |     |     |    |          |        |     |    |         |      |      |         |       |
| Gross floor area:   |                       |              |     |     | 624    |     |     |     |    |          |        |     |    |         |      |      |         |       |

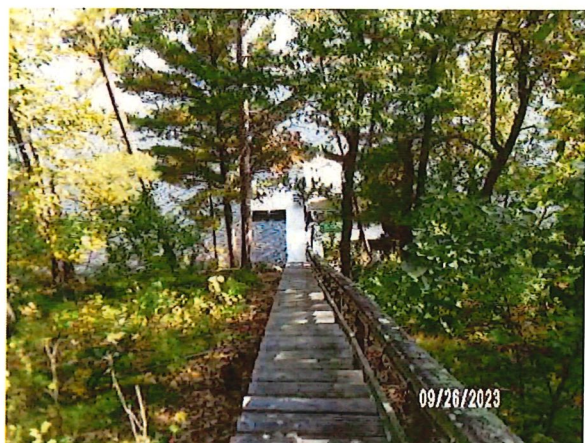
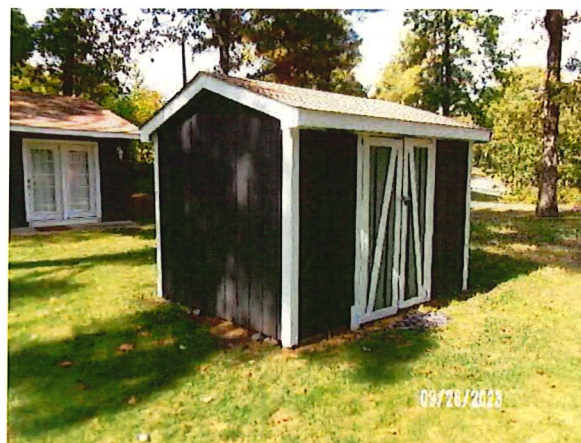
CAMA IMP DETAILS: 2 OTH SHED  
House/Garage: Schedule: 2025  
Construction class/Quality: 5  
Actual/Effective year built:  
Condition:

DEPRECIATION PCT GOOD FACTORS:  
Physical: 1.00  
Functional incurable . . .  
Economic: 90218B 0 1.00  
Additional . . . . .  
Total percent good . . . . 1.00

NOTES: -----

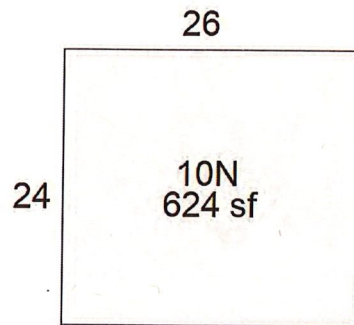
| ----                | Characteristics/Areas | ----        | Wid | Len | Units  | Str | Fdt | Wal | OV | Rate    | RCN | Sum | PD | Curable | %Cmp | %New | New Imp | RCNLD |
|---------------------|-----------------------|-------------|-----|-----|--------|-----|-----|-----|----|---------|-----|-----|----|---------|------|------|---------|-------|
| BAS                 | SHED                  | 5 AVG W/FLR |     |     | 1      |     |     |     |    | 700.00  | 700 | 1   |    | 1.00    |      |      |         | 700   |
| Effective BAS rate: |                       |             |     |     | 700.00 |     |     |     |    | Totals: | 700 |     |    |         |      |      |         | 700   |
| Ground floor area:  |                       |             |     |     | 1      |     |     |     |    |         |     |     |    |         |      |      |         |       |
| Gross floor area:   |                       |             |     |     | 1      |     |     |     |    |         |     |     |    |         |      |      |         |       |

Field check value: Appraiser's initials: Date of inspection:



90-417-0150

Shed



Sketch by Apes Sketch

**CITY OF LAKE SHORE  
PERMIT SUMMARY  
AUGUST 2025**

**DWELLINGS: 1**

**GUEST CABIN: 0**

**ADDITIONS (Residential): 3**

**ACCESSORY STRUCTURES: 2**

**DECKS/PORCHES/PATIOS: 2**

**SEPTIC SYSTEMS: 2**

**GRADING/ShORELINE ALT/STEPS: 0**

**COMMERCIAL (new): 1**

**COMMERCIAL ADD/LANDCAPING/PORCH: 0**

**AUGUST 2025 PERMIT TOTAL YTD: 39**

## Land use fees – League of Minnesota Cities Website

The Legislature occasionally changes Municipal Planning Act land use fee provisions. Cities should make sure their land use fee provisions and practices meet current state standards. Under current law:

- A city may prescribe fees sufficient to defray the costs incurred in reviewing, investigating, and administering a land use application.
- The fees must be fair, reasonable, proportionate, and have a nexus to the actual cost of the service.
- Land use fees generally must be established by ordinance (Stat. § 462.353, subd. 4).

Cities that collect land use fees must adopt management and accounting procedures to ensure fees are maintained and used only for the purpose for which they are collected.

# Office of the Revisor of Statutes

## Office of the Revisor of Statutes

### 2024 Minnesota Statutes

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#### 462.353 AUTHORITY TO PLAN; FUNDS; FEES; APPEAL.

Subdivision 1. **General authority.** A municipality may carry on comprehensive municipal planning activities for guiding the future development and improvement of the municipality and may prepare, adopt and amend a comprehensive municipal plan and implement such plan by ordinance and other official actions in accordance with the provisions of sections [462.351](#) to [462.364](#).

Subd. 2. **Studies and reports.** In exercising its powers under subdivision 1, a municipality may collect and analyze data, prepare maps, charts, tables, and other illustrations and displays, and conduct necessary studies. A municipality may publicize its purposes, suggestions, and findings on planning matters, may distribute reports thereon, and may advise the public on the planning matters within the scope of its duties and objectives. The commissioner of natural resources must provide the natural heritage data from the county biological survey, if available, to each municipality for use in the comprehensive plan.

Subd. 3. **Appropriation and contracts.** A municipality may appropriate moneys from any fund not dedicated to other purposes in order to finance its planning activities. A municipality may receive and expend grants and gifts for planning purposes and may enter into contracts with the federal and state governments or with other public or private agencies in furtherance of the planning activities authorized by sections [462.351](#) to [462.364](#).

Subd. 4. **Fees.** (a) A municipality may prescribe fees sufficient to defray the costs incurred by it in reviewing, investigating, and administering an application for an amendment to an official control established pursuant to sections [462.351](#) to [462.364](#) or an application for a permit or other approval required under an official control established pursuant to those sections. Except as provided in subdivision 4a, fees as prescribed must be by ordinance. Fees must be fair, reasonable, and proportionate and have a nexus to the actual cost of the service for which the fee is imposed.

(b) A municipality must adopt management and accounting procedures to ensure that fees are maintained and used only for the purpose for which they are collected. Upon request, a municipality must explain the basis of its fees.

(c) Except as provided in this paragraph, a fee ordinance or amendment to a fee ordinance is effective January 1 after its adoption. A municipality may adopt a fee ordinance or an amendment to a fee ordinance with an effective date other than the next January 1, but the ordinance or amendment does not apply if an application for final approval has been submitted to the municipality.

(d) If a dispute arises over a specific fee imposed by a municipality related to a specific application, the person aggrieved by the fee may appeal under section [462.361](#), provided that the appeal must be brought within 60 days after approval of an application under this section and deposit of the fee into escrow. A municipality must not condition the approval of any proposed subdivision or development on an agreement to waive the right to challenge the validity of a fee. An approved application may proceed as if the fee had been paid, pending a decision on the appeal. This paragraph must not be construed to preclude the municipality from conditioning approval of any proposed subdivision or development on an agreement to waive a challenge to the cost associated with municipally installed improvements of the type described in section [429.021](#).

Subd. 4a. **Fee schedule allowed.** A municipality that collects an annual cumulative total of \$5,000 or less in fees under this section may prescribe the fees or refer to a fee schedule in the ordinance governing the official control or permit. A municipality may adopt a fee schedule under this subdivision by ordinance or resolution, either annually or more frequently, following publication of notice of proposed action on a fee schedule at least ten days prior to a public hearing held to consider action on or approval of the fee schedule. A municipality that collects a cumulative total in excess of \$5,000 in fees under this section may prescribe a fee schedule by ordinance by following the notice and hearing procedures specified in this subdivision.

Subd. 5. **Certify taxes paid.** A municipality may require, either as part of the necessary information on an application or as a condition of a grant of approval, an applicant for an amendment to an official control established pursuant to sections [462.351](#) to [462.364](#), or for a permit or other approval required under an official control established pursuant to those sections to certify that there are no delinquent property taxes, special assessments, penalties, interest, and municipal utility fees due on the parcel to which the

application relates. Property taxes which are being paid under the provisions of a stipulation, order, or confession of judgment, or which are being appealed as provided by law, are not considered delinquent for purposes of this subdivision if all required payments that are due under the terms of the stipulation, order, confession of judgment, or appeal have been paid.

**History:** [1965 c 670 s 3](#); [1982 c 415 s 1](#); [1996 c 282 s 3](#); [1997 c 2 s 3](#); [2001 c 207 s 11](#); [2003 c 93 s 1,2](#); [2004 c 178 s 1](#); [2007 c 57 art 1 s 154](#)

Official Publication of the State of Minnesota  
Revisor of Statutes

**71.6.4** Following approval by the Planning Commission, the subdivider shall submit to the Zoning Administrator, two (2) double mounted cloth backed prints on card stock (hard-shells) and two (2) mylar prints of the Final Plat, Final Common Interest Community Plan or Final Condominium Plat for signature by the Mayor and Clerk.

**71.6.5** Upon signature, the subdivider shall file all pertinent documents with the County Recorder. Failure to file a Final Plat or Plan, within two (2) years shall void the approval unless extended by the Planning Commission.

**72. Fees.** The Council shall adopt a schedule of fees from time to time for all permits.

**72.1** No permit shall be issued, or request brought before the Board of Adjustment or Planning Commission until the fees are paid. All late applications shall require the payment of an after-the fact fee as outlined in the fee schedule. The City shall not accept applications where the applicant has any past due fees or charges due to the City until the account is made current.

**72.2** Whenever any work, use or division of land for which a formal application and City approval is required, has been commenced without first making such application and without receiving City approval therefore, a special investigation of the circumstances shall be made. Because of the extra administrative costs involved in the special investigation, the minimum application fee for after-the-fact application shall be no less than five (5) times all fees as set forth in the basic fee schedule, not to exceed \$1,000.00 per request, whether or not the application is thereafter approved or denied. Payment of an after-the-fact application fee shall not constitute approval or authorization of the work, use or division of the land, and shall not constitute a penalty or a waiver of the right of the City to institute civil or criminal legal action against the applicant for commencing such work, use or division of land without the required prior approval of the City. All fees are non-refundable after work has begun on the application.

**73. Financial Requirements.** Applications will not be accepted as complete where an applicant has any utility charges, delinquent taxes, delinquent assessments or other fees past due with the City or County. The past due account must be paid to bring the account current before an application will be accepted.

**73.1** When costs associated with processing or reviewing an application exceed the original application fees, the applicant shall reimburse the City for any additional costs. Such expenses may include, but are not limited to, payroll, mailing costs, consultant fees and other professional services the City may need to hire in reviewing permits. Outstanding fees shall be paid before issuance of the permit and any construction of the project begins.

**74. Required Decision Making Time Frames.** The City will do everything in its power to expedite the application review process and provide applicants with timely feedback on their requests.

**74.1** Pursuant to Minnesota Statutes, Chapter 15.99, as amended, the City of Lake Shore establishes the following time frames for decisions made on all land use requests before the City, including Variances, Conditional Use Permits, Zoning District Boundary Changes, Zoning Ordinance Amendments, Appeals of Decisions by the Zoning Administrator or Planning Commission and Land Use Permits.

**74.2** It shall be the applicant's responsibility to submit a completed application packet, which shall by definition include the application forms approved by the City, site plan with all information required

| City                   | Permit Fee                      | Late Fee                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|------------------------|---------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| City of Garrison       | range - based on square footage | triple original fee                                                                                                                                                                                                                                                                                                                                                                                                                         |
| City of Pequot Lakes   | range - based on square footage | 5 times base fee (included) with a minimum penalty of \$300                                                                                                                                                                                                                                                                                                                                                                                 |
| City of Osakis         | \$40 - zoning permit            | Double fee or no building permit approval before start/stop work order \$1000                                                                                                                                                                                                                                                                                                                                                               |
| City of Nisswa         | range - based on square footage | any violation of the zoning ordinance may be subject to an administrative citation of \$100 that may be issued each day the violation exists                                                                                                                                                                                                                                                                                                |
| City of Emily          | range - based on square footage | 10 times base fee (permit included)                                                                                                                                                                                                                                                                                                                                                                                                         |
| City of East Gull Lake | range - based on square footage | After the fact/violation: 3 times the application fee with a \$500 minimum, second violation in 3 years is 6 times the application fee with \$1000 minimum                                                                                                                                                                                                                                                                                  |
| City of Cross Lake     | range - based on square footage | 5 times application fee                                                                                                                                                                                                                                                                                                                                                                                                                     |
| City of Pillager       | range - based on square footage | triple original fee                                                                                                                                                                                                                                                                                                                                                                                                                         |
| City of Fifty Lakes    | range - based on square footage | If the structure or use is permitted or may be allowed under a conditional use, interim use or variance, the fee shall be the regular zoning permit fee PLUS a penalty of \$1,000 or triple the permit fee, whichever is greater. PLUS a conditional use or variance fee, if required. The City Council may, at its discretion, require the removal of a structure, or reclamation, or require a use to be discontinued, pending compliance |
|                        |                                 | Note: When other costs associated with processing or reviewing of application exceed the original application fees; the applicant shall reimburse the City for any additional costs. Such expenses may include, but are not limited to mailing costs, city employee time, consultant fees, legal fees, engineering fees or other professional services.                                                                                     |
|                        |                                 | Outstanding fee shall be paid before issuance of the permit and any construction of the project begins.                                                                                                                                                                                                                                                                                                                                     |